

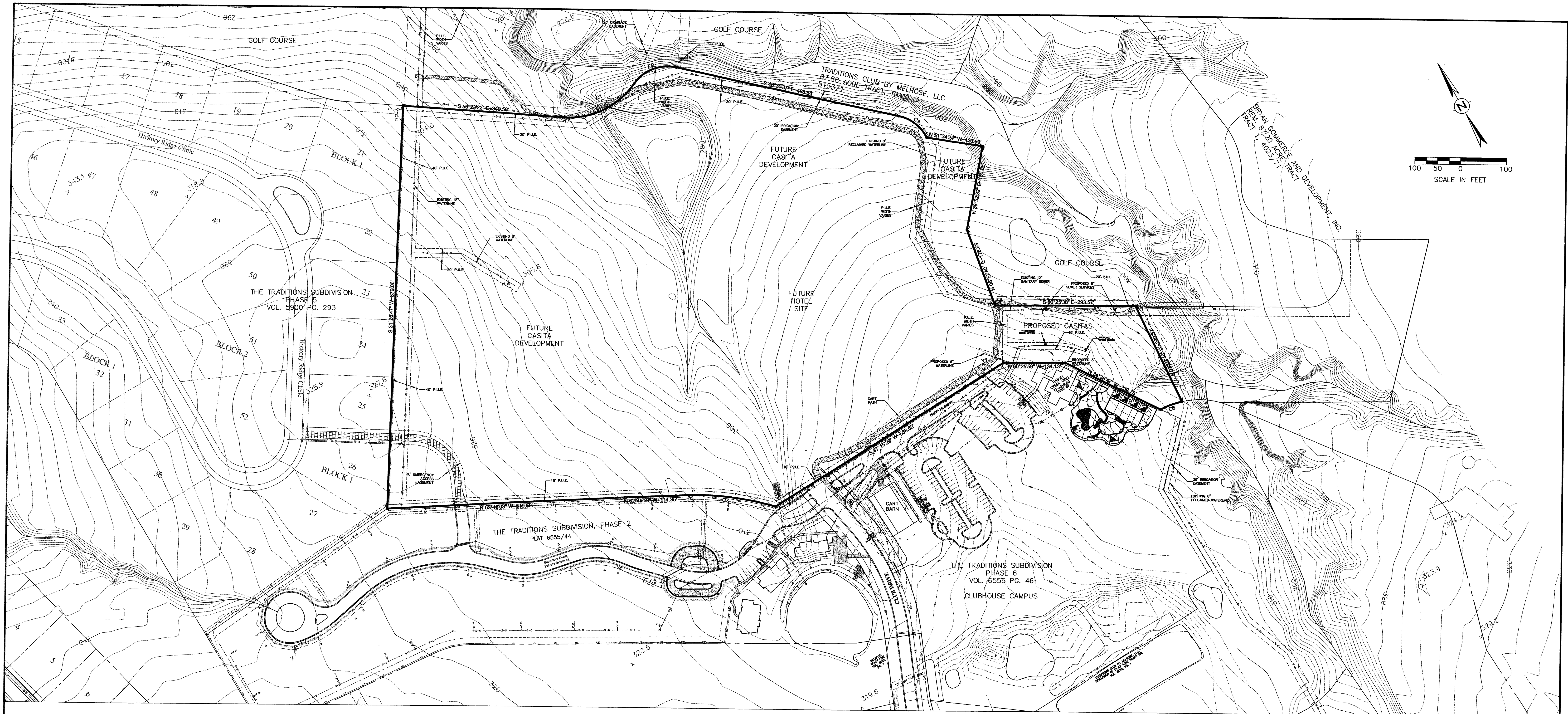
COOPERFIELD SECTION TWO, an addition to the City of Bryan, Texas, according to plat recorded in Volume 718, Page 437 of the Official Records of Brazos

10



*Nicholas P. Wickham*

CU06-07



CURVE	RADIUS	DELTA	ARC	TANGENT	BEARING	CHORD
C1	175.00	59°01'46"	180.29	99.07	S 85°59'18" E	172.43
C2	90.00	66°38'07"	104.67	59.16	S 81°51'48" E	98.87
C3	90.00	50°37'20"	79.52	42.56	N 23°10'30" W	76.96
C4	175.00	4°22'37"	13.37	6.69	S 58°14'41" E	13.37
C6	176.00	16°14'17"	49.88	25.11	N 81°23'31" W	49.71
C7	600.93	20°56'58"	219.72	111.10	N 54°24'11" W	218.50

CURVE LABEL "C5" HAS BEEN OMITTED.

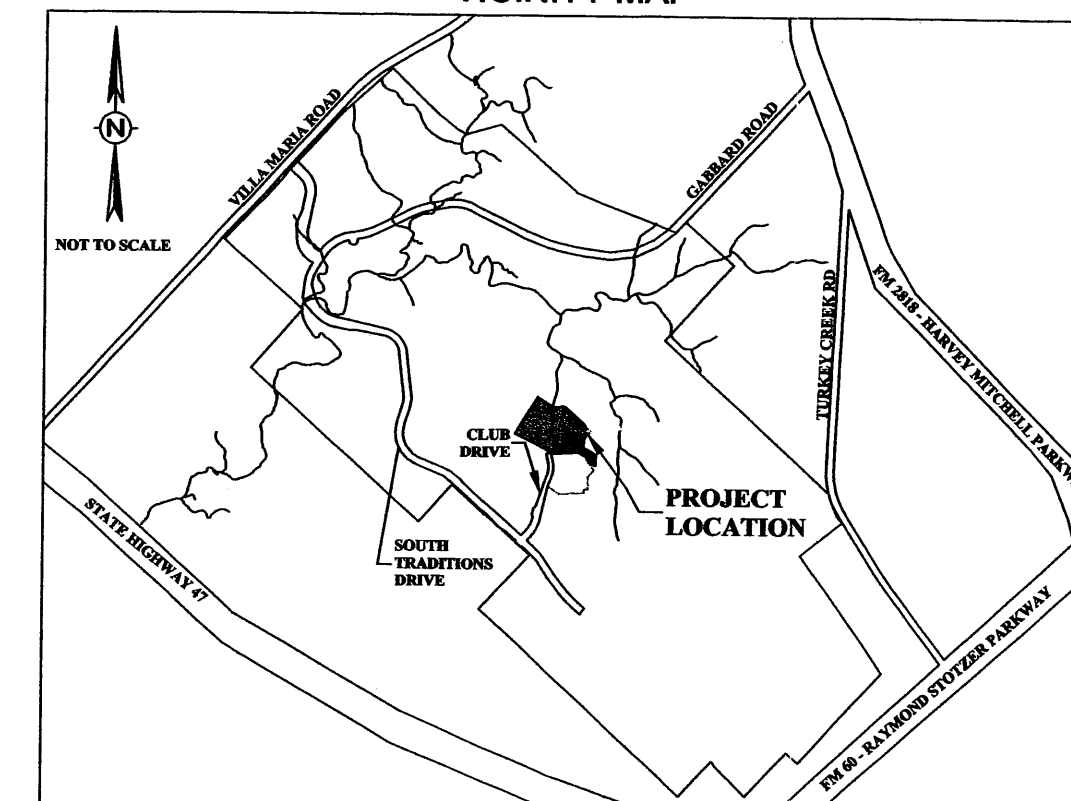
#### NOTES:

1. BEARING SYSTEM SHOWN HEREON IS BASED ON GRID NORTH AS ESTABLISHED FROM CITY OF BRYAN G.P.S. MONUMENTS.
2. THIS PROPERTY IS CURRENTLY ZONED PLANNED DEVELOPMENT-MIXED USE (PD-M).
3. THE TOPOGRAPHY SHOWN IS FROM AERIAL TOPOGRAPHY PREPARED FOR THE CITY OF BRYAN AND FIELD SURVEY DATA.
4. NO PORTION OF THIS TRACT LIES WITHIN A DESIGNATED 100 YEAR FLOOD PLAIN ACCORDING TO THE F.I.R.M. MAPS, COMMUNITY PANEL NO. 48041C0143-C, EFFECTIVE DATE: 07-02-1992. THE PROPOSED 100-YEAR FLOODPLAIN LIMITS PER THE 2005 DRAINAGE STUDY IS SHOWN ON THIS PLAN.
5. BUILDING SETBACK LINES TO BE IN ACCORDANCE WITH THE CITY OF BRYAN SITE DEVELOPMENT REVIEW ORDINANCE NO. 1412 FOR SF-5 ZONING DISTRICT. HOWEVER, ADDITIONAL BUILDING SETBACK LINES MAY BE REQUIRED BY DEED RESTRICTIONS.
6. CURVE LENGTHS SHOWN ALONG THE BOUNDARY OR RIGHT-OF-WAY LINES ARE ARC LENGTHS.
7. OWNERSHIP OF THIS TRACT IS BY DEED, VOL. 6587, PG. 223 AND VOL. 5153, PG. 1, OF THE OFFICIAL DEED RECORDS OF BRAZOS COUNTY, TEXAS. THIS PROPERTY WAS PREVIOUSLY NOTED AS PARCELS 1 & 2 ON THE MASTER PLAN.

#### LEGEND

— 290 —	EXISTING CONTOUR (MAJOR)
— 300 —	EXISTING CONTOUR (MINOR)
— — — — —	PROPERTY LINE
— — — — —	OLD PROPERTY LINE
●	PROPERTY CORNER
— — — — —	PUBLIC UTILITY EASEMENT LINE
— — — — —	SANITARY SEWER LINE
— — — — —	WATERLINE
— — — — —	STORM SEWER LINE
→	FLOW DIRECTION
⊕	FIRE HYDRANT
⊕	WATER GATE VALVE
⊕	SANITARY SEWER MANHOLE
⊕	SANITARY SEWER SERVICE
⊕	PUBLIC UTILITY EASEMENT
⊕	CART PATH

#### VICINITY MAP



## PRELIMINARY PLAN THE TRADITIONS SUBDIVISION PHASE 16

25.436 ACRES

BLOCK 1, LOT 1

J.H. JONES SURVEY, A-26  
BRYAN, BRAZOS COUNTY, TEXAS

SCALE: 1"=100'

OWNER/DEVELOPER:  
Traditions Club by Melrose, LLC.  
2100 Traditions Blvd.  
Bryan, Texas 77807  
(979) 821-2582

APRIL, 2006

ENGINEER:  
★ **CIVIL DEVELOPMENT, Ltd.** ★  
CIVIL ENGINEERING & DESIGN-BUILD SERVICES  
Joe Schultz, P.E.  
2900 Longmire Drive, Suite K  
College Station, Texas 77845

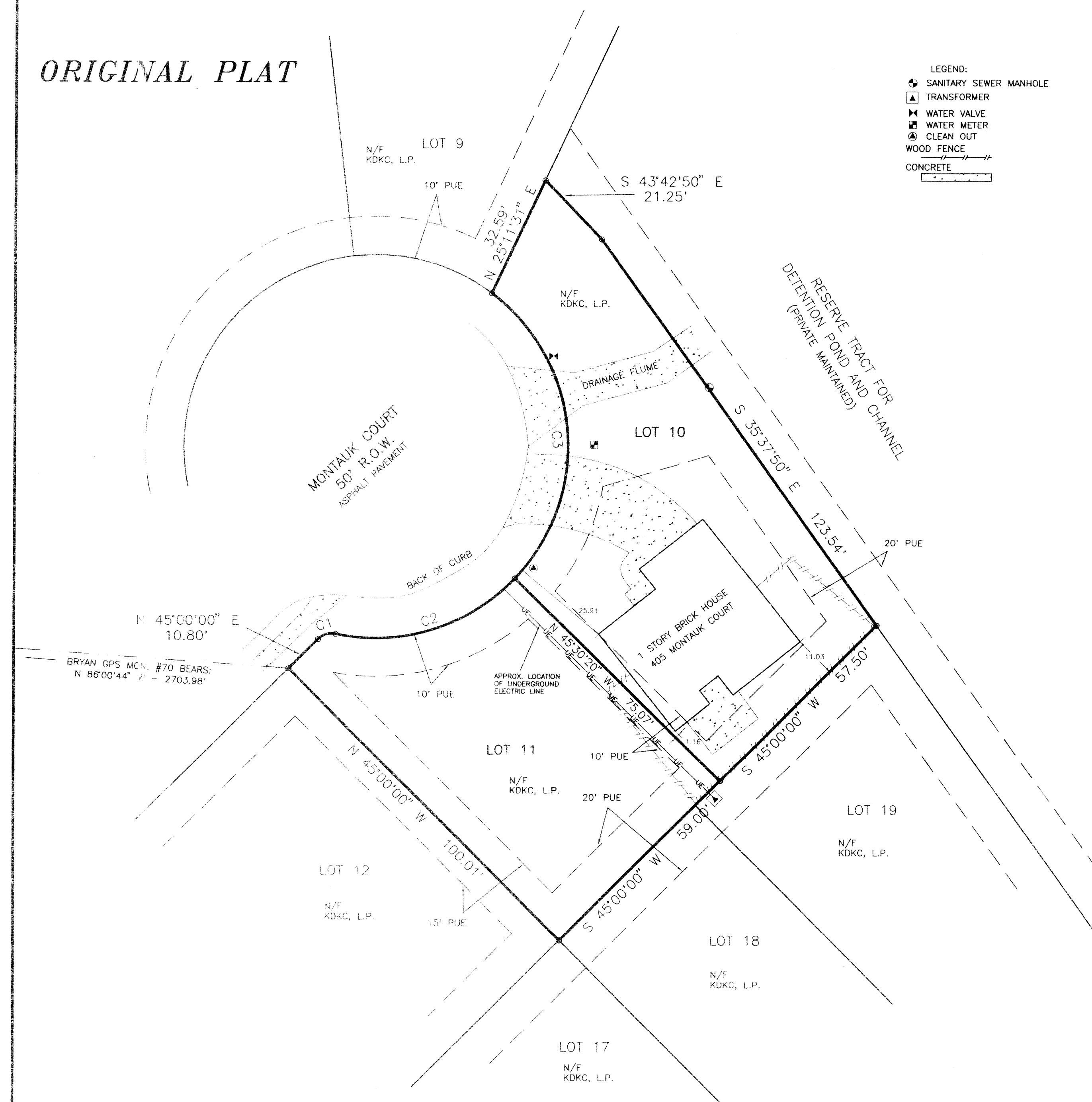
SURVEYOR:  
Brad Kerr, RPLS No. 4502  
Kerr Surveying, LLC  
P.O. Box 269  
College Station, Texas 77841  
(979) 268-3195

P.O. Box 11929, College Station, Texas 77842  
(979) 764-7743 Fax: (979) 764-7759  
Prepared for Texcon General Contractors

PP06-08



ORIGINAL PLAT



STATE OF TEXAS  
COUNTY OF BRAZOS

I (We) \_\_\_\_\_, owner(s) and developer(s) of the land shown on this plat, and designated herein as Lots 10R and 11R, Hampton Hill Subdivision to the City of Bryan, Texas, and whose name(s) is/are subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, easements, and public places thereon shown for the purpose and consideration therein expressed.

Owner(s)

STATE OF TEXAS  
COUNTY OF BRAZOS

Before me, the undersigned authority, on this day personally appeared \_\_\_\_\_ known to me to be the person(s) whose name(s) is/are subscribed to the foregoing instrument, and acknowledged to me that he/they executed the same for the purpose and consideration therein stated.

Given under my hand and seal on this \_\_\_\_\_ day of \_\_\_\_\_, 2006.

Notary Public, Brazos County, Texas

CERTIFICATE OF SURVEYOR

I, Brad Kerr, Registered Public Surveyor No. 4502, in the State of Texas, hereby certify that this plat is true and correct and was prepared from an actual survey of the property and that property markers and monuments were placed under my supervision on the ground.

Brad Kerr, R.P.L.S. No. 4502

APPROVAL OF PLANNING AND ZONING COMMISSION

I, \_\_\_\_\_, Chairman of the Planning and Zoning Commission of the City of Bryan, hereby certify that the attached plot was duly approved by the Commission on the \_\_\_\_\_ day of \_\_\_\_\_, 2006.

Chairman

CERTIFICATION OF PLANNING ADMINISTRATOR

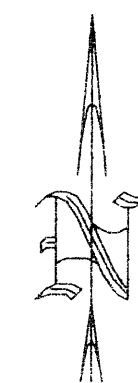
I, the undersigned, Planning Administrator of the City of Bryan, hereby certify that the plat conforms to the City master plan, major street plan, land use plan and the standards and specifications set forth in this Ordinance.

Planning Administrator, City of Bryan

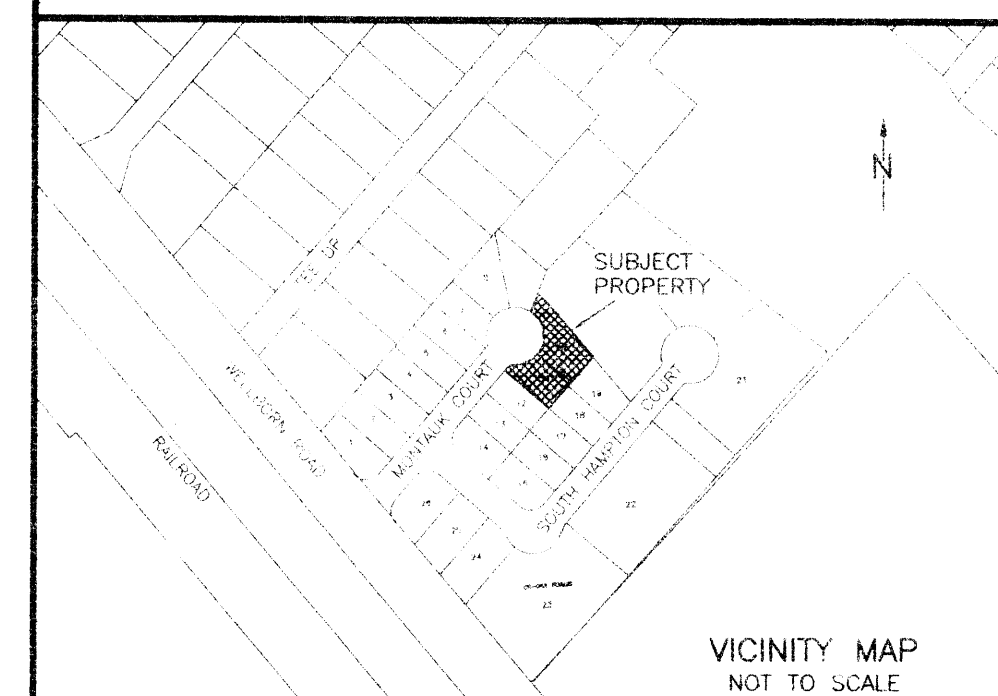
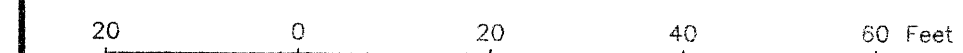
APPROVAL OF THE CITY ENGINEER

I, the undersigned, City Engineer of the City of Bryan, hereby certify that this plat is in compliance with the appropriate codes and ordinances of the City of Bryan.

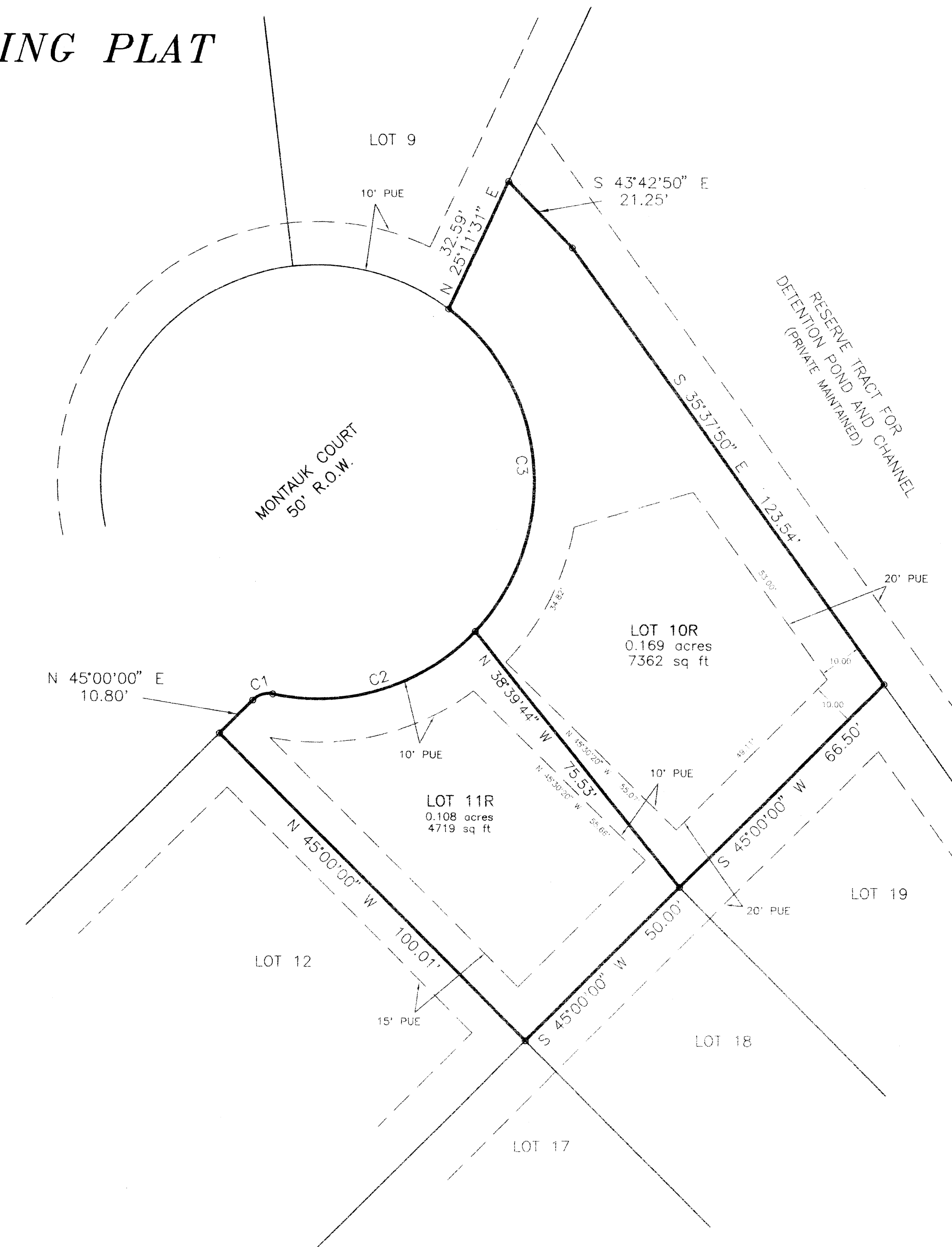
City Engineer, City of Bryan



SCALE: 1" = 20'



*AMENDING PLAT*



*AMENDING PLAT*

OF  
LOTS 10 AND 11  
HAMPTON HILL SUBDIVISION  
VOLUME 6761, PAGE 253  
BRYAN, BRAZOS COUNTY, TEXAS

SCALE: 1 INCH = 20 FEET  
SURVEY DATE: APRIL, 2006  
PLAT DATE: 04-25-06

JOB NUMBER: 06-141  
CAD NAME: 06-141  
CR5 FILE: HAMPHILL (cont); 06-141 (job)

PREPARED BY: KERR SURVEYING, LLC  
505 CHURCH STREET, P.O. BOX 269  
COLLEGE STATION, TEXAS 77841  
PHONE (979) 268-3195

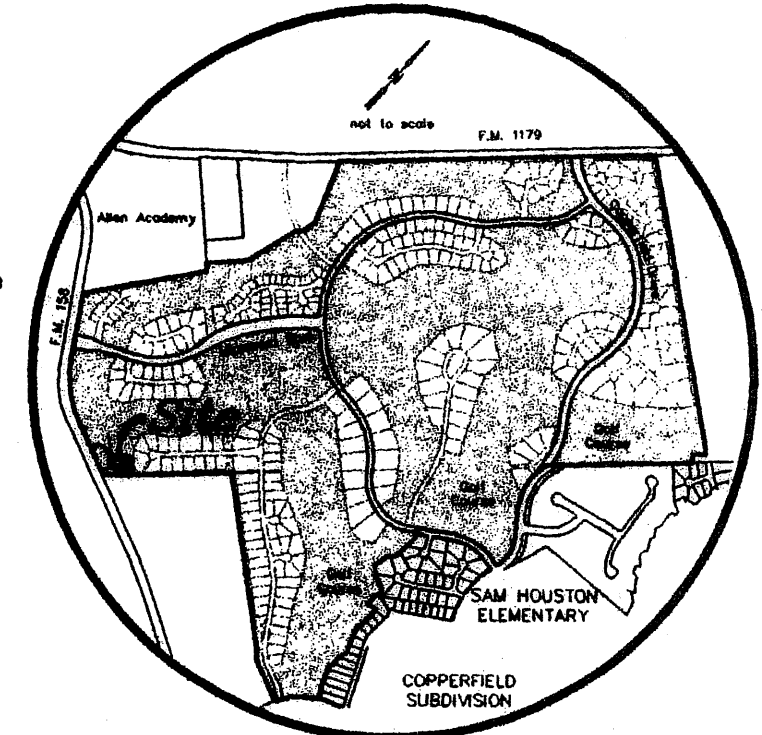
PREPARED FOR: KDKC L.P.  
201 WELLBORN ROAD  
COLLEGE STATION, TEXAS 77845  
PHONE (979) 696-4464

AP 06-06



Project Reference: Benchmark  
 Station set in concrete for the City of Bryan  
 CIP: Monument No. 58 located 1.2 miles northeast  
 of the FM 1779 and FM 158 Intersection.  
 Elevation: 333.83 (NGVD 1929)

3° 09' 22"  
 PROJECT NORTH  
 TRUE NORTH  
 Scale: 1" = 40'



Location Map

- GENERAL NOTES:**
1. CURRENT ZONING: PD-M (PLANNED DEVELOPMENT - MIXED)
  2. EXISTING LAND USE: PASTURE LAND
  3. According to Federal Emergency Management Agency Flood Insurance Rate Maps, Map Number 4804100134 C, effective July 2, 1992, this property is located in a Zone "X" area which is determined to be outside the 500-year flood plain. On-site storm water detention/retention is planned with this development and will be maintained by the Owner.
  4. BASIS OF BEARINGS: Bearings are based on the system found in the various recorded plats of "Copperfield" Subdivision.
  5. Gross Square Footage: 1 Bldgs = 14,191 SF
  6. Parking Analysis: Warehouse w/Enclosed Storage  
 1/600 SF of Gross Floor Area  
 14191/600 = 24 Spaces Required  
 27 Provided
  7. Landscape Statement: Landscape Calculations and Plan to be submitted by others.
  8. See Sheet 1 for Grading & Drainage Plan

**WATER AND SANITARY SEWER GENERAL NOTES:**

Water Demands: 0 gpm (min.)  
 13 gpm (avg.)  
 38 gpm (max.)

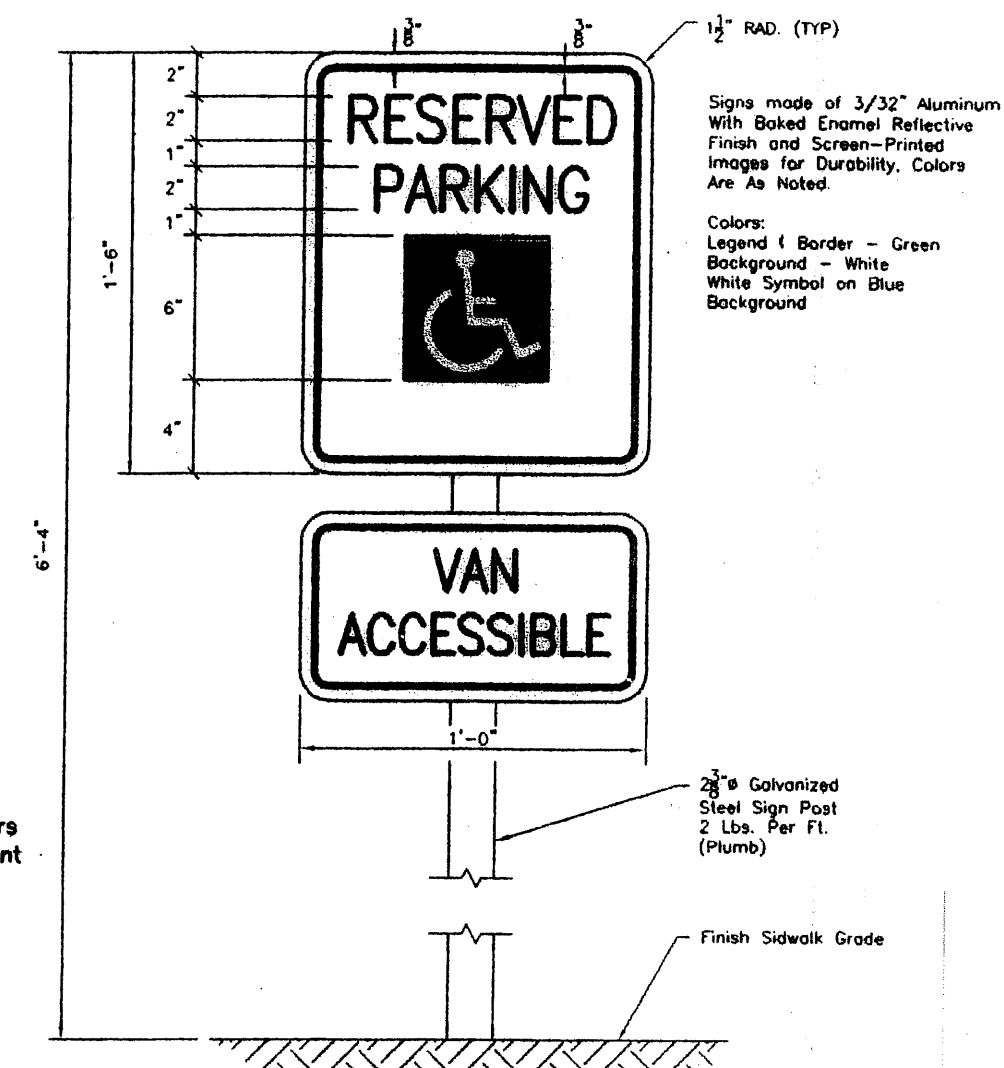
Sewer Demands: 25 F.U. = 485 gpd

**SIGN INSTALLATION NOTES:**

1. All signs shall be posted on 8'-6", 2-3/8" outside diameter Galvanized Steel Pipe Signposts that weigh two (2) pounds per linear foot. These signposts shall be placed a minimum of 2.5 to 3.0 feet into the ground in a dug or drilled one-foot diameter hole. The signpost shall be placed vertically plumb in the center of the hole and secured with a minimum of two (2) sacks of sackcrete. The concrete mix shall be hand tamped as necessary.
2. The signs shall be installed so that the bottom of each sign shall be at least four (4) feet above the ground at the base of the signpost or above an adjacent travelway. All traffic signposts shall be installed 24 inches from the travelway, Handicapped Parking Signs shall be installed 12" from the travelway or sidewalk.
3. The hardware used to attach the signs to the signposts shall be the same as that currently used by the City of Bryan.

**STRIPING NOTES:**

1. Contractor shall be responsible for the "layout" of the striping plan in the field and stripes as shown on this sheet.
2. All markings shall be white.
3. All point, glass beads and application rates shall conform to TxDOT Item 666, ReflectORIZED Pavement Markings, Type II Marking Materials.
4. All Parking Space Limit Lines shall be solid white lines 6" wide.
5. All marking/striping shall conform to current specifications of the Texas Manual on Uniform Traffic Control Devices and the TEXAS ACCESSIBILITY STANDARDS (TAS) of the Architectural Barriers Act [Article 9102, Texas Civil Statutes] from the Texas Department of Licensing and Regulation.



**HANDICAPPED PARKING SIGN**  
 (R7-8 PER M.U.T.C.D.)

**Legend**

- - - - - Easement Line
- - - - - Proposed Sewerline
- - - - - Site Boundary Line
- - - - - Prop. Waterline & Fire Hydrant
- - - - - Existing Contours
- - - - - Existing Electric Line
- - - - - Existing 18" Water Line
- - - - - Existing Telephone Cables
- - - - - Existing Wood Fence
- - - - - Direction of Traffic Flow
- - - - - Direction of Drainage Flow
- - - - - GTE Manhole
- - - - - Guy Anchor
- - - - - Power Pole
- - - - - Fire Hydrant
- - - - - Telephone Pedestal
- - - - - Water Valve

**Section 1**  
 Prop. Golf Course

AREA "A" 15'x70'x16' OPEN TOP MATERIAL BIN (SOIL)  
 BUILDING "B" 30'x70'x12'-7" EQUIPMENT SHAED (COVERED PARKING)  
 GREENHOUSE "C" 30'x95'x12' VINYL "TENT" GREENHOUSE  
 (Lathehouse "C") w/ 20'x45'x12' SHADE CLOTH OPEN STRUCTURE

EXISTING BUILDING/PAVING  
 HASHED THUS

**Section 8**  
 Residential  
 Zoning SF-7  
 Single Family Residential

Tesori Drive  
 (Future Construction)

POINT COORDINATE TABLE

POINT	X	Y
1	4086.38	15462.99
2	4149.89	15399.04
3	4032.80	15282.44
4	3736.14	15314.22
5	3603.72	153371.79
6	3965.80	15311.71
7	3770.76	15432.29
8	3722.58	15488.42

Coca-Cola Enterprises  
 (CSL of Texas, Inc.)  
 55.936 Ac. residue Tr.  
 2051/136

**SITE PLAN**

**MIRAMONT MAINTENANCE BUILDING**

**527.72 ACRE DEVELOPMENT**  
 277.993

J.W. SCOTT LEAGUE, A-49  
 J. AUSTIN LEAGUE, A-2  
 BRYAN, BRAZOS COUNTY, TEXAS

APRIL 2006  
 SCALE: 1" = 40'

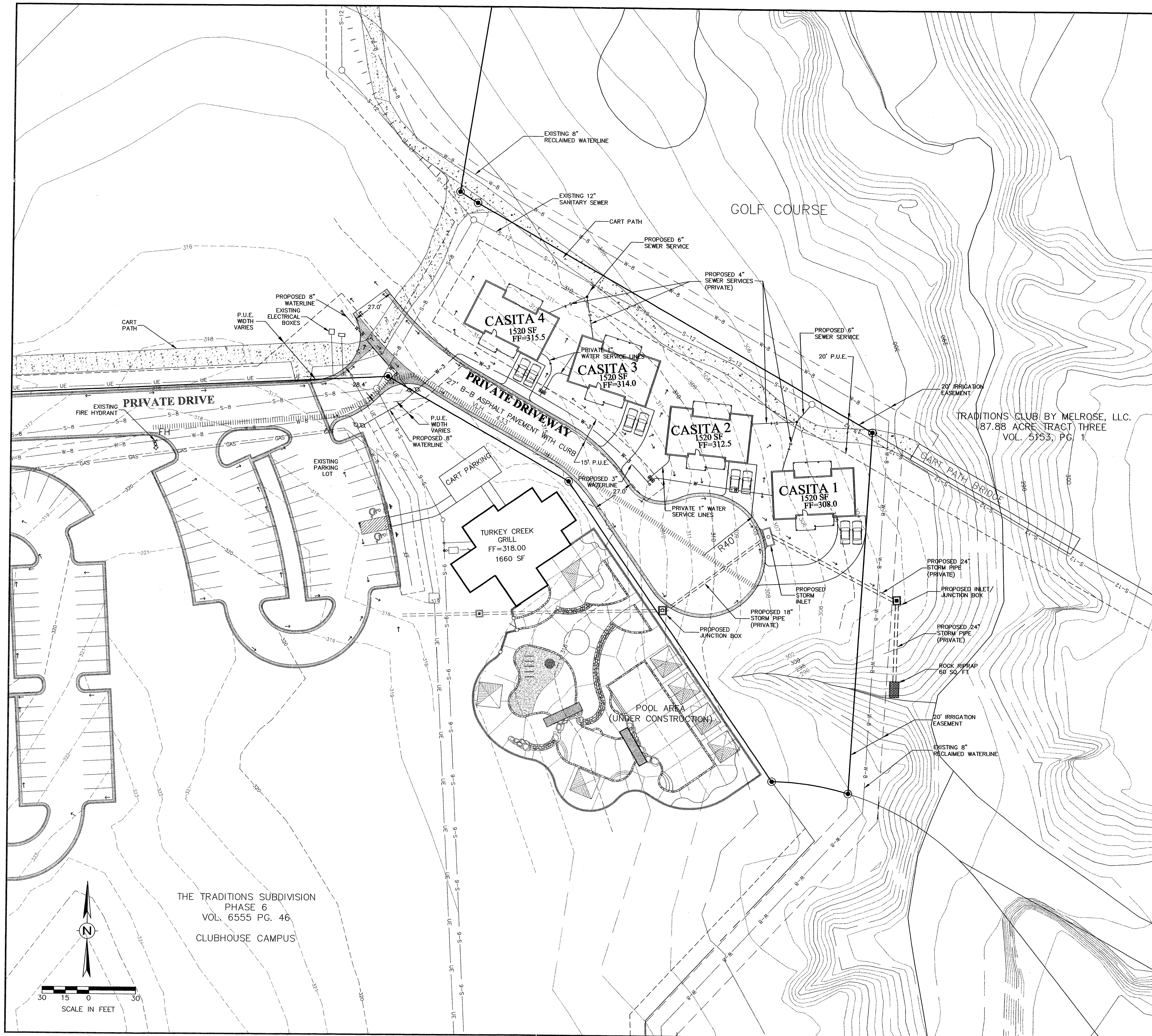
**MADISON**  
 CONSTRUCTION, L.P.

Owner:  
 ADAM DEVELOPMENT PROPERTIES, L.P.  
 1111 BRANCREST DRIVE  
 BRYAN, TEXAS 77801-1111

1640 BRANCREST DRIVE, SUITE 125 • BRYAN, TEXAS 77802  
 P.O. BOX 3787 • BRYAN, TEXAS 77805-3787  
 979-268-5520 • FAX 979-268-6022

SP06-18





**GENERAL NOTES:**

1. BUILDING SETBACKS SHALL CONFORM TO THE REQUIREMENTS OF CURRENT CITY OF BRYAN ORDINANCES.
2. ALL DIMENSIONS SHOWN ARE TO THE BACK OF CURB.
3. STORM SEWER AND DRAINAGE INFORMATION AND DETAILS WILL BE PROVIDED ON THE GRADING AND DRAINAGE DESIGN PLANS. ALL STORM SEWER IS PRIVATE.
4. PAVEMENT TO BE CONCRETE OR ASPHALT PAVEMENT.
5. SOLID WASTE SERVICES FOR THE CASITAS SHALL BE PROVIDED BY 90 GALLON TRASH CANS.
6. TYPE OF WASTE STREAMS:  
CASITAS: NORMAL
7. THE BASIS OF BEARINGS IS GRID NORTH, BASED ON TEXAS STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD-27 DATUM, CONVERGENCE=02°01'56". DISTANCES ARE SURFACE DISTANCES EXPRESSED IN U.S. SURVEY FEET (SURFACE ADJUSTMENT FACTOR=1.0001093, SURFACE DISTANCE X 0.9998907 = GRID DISTANCE.)
8. NO PORTION OF THE SUBJECT PROPERTY LIES WITHIN THE 100 YEAR FLOODPLAIN ACCORDING TO THE F.E.M.A. FLOOD INSURANCE RATE MAP FOR BRAZOS COUNTY, TEXAS AND INCORPORATED AREAS. COMMUNITY NO. 481195, PANEL NO. 0143C, MAP NO. 48041C0143C. EFFECTIVE DATE: JULY 2, 1992.

**CONSTRUCTION NOTES:**

1. ALL CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAYS AND EASEMENTS SHALL BE IN ACCORDANCE WITH THE 2005 CITY OF BRYAN STANDARD SPECIFICATIONS FOR WATER, SEWER, DRAINAGE AND STREET CONSTRUCTION. ALL CONSTRUCTION SHALL BE COORDINATED WITH THE CITY ENGINEER'S OFFICE.
2. ALL MATERIALS SHALL MEET CURRENT CITY STANDARDS AND SPECIFICATIONS. CONTRACTOR IS TO VERIFY THE EXACT LOCATION AND VERTICAL POSITIONING OF EXISTING UTILITIES AND SERVICE LINES WITHIN THE PROJECT AREA, WHETHER SHOWN ON PLANS OR NOT. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE DONE TO EXISTING FACILITIES. NOTIFICATION OF THE UTILITY COMPANIES 48 HOURS IN ADVANCE OF CONSTRUCTION IS REQUIRED.

**UTILITY CONTACTS:**

DIG TESS (800) 344-8377  
TXU GAS (979) 774-2501  
COX COMMUNICATIONS (979) 846-2229  
VERIZON (800) 344-8377  
BTU - 821-5749

4. ALL CLEANOUTS, MANHOLES, VALVE BOXES OR OTHER APPURTENANCES LOCATED IN PAVEMENT AREAS ARE TO BE FLUSH WITH THE FINISHED SURFACE AND CONSTRUCTED WITH CAST IRON FITTINGS.

5. THE CONTRACTOR SHALL COMPLY WITH THE SEDIMENT AND EROSION CONTROL PLAN DURING CONSTRUCTION. ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE SEED OR SOODED AND THE AREAS MAINTAINED UNTIL VEGETATION IS ESTABLISHED. THIS PROJECT IS REQUIRED TO COMPLY WITH THE TCEQ, TPDES CONSTRUCTION GENERAL PERMIT NO. TXR150000.

**SITE NOTES:**

1. THE CURRENT OWNER OF THE 25.436 ACRE TRACT IS TRADITIONS CLUB BY MELROSE, LLC. THIS TRACT WILL BE PLATTED AS TRADITIONS, PHASE 16. THE DEEDS FOR THIS PROPERTY ARE IN VOLUME 5587, PAGE 223 AND VOLUME 5153, PAGE 1 OF THE OFFICIAL RECORDS OF BRAZOS COUNTY.
2. THE CURRENT ZONING OF THE TRACT IS PD-M PLANNED DEVELOPMENT MIXED USE.
3. THE CURRENT USE OF THE PROPERTY IS "VACANT".
4. THE PROPOSED USE OF THIS PROPERTY IS RESIDENTIAL, TWO-BEDROOM CASITAS WITH DRIVEWAY PARKING (NO GARAGES).
5. UTILITY SERVICES TO BE PROVIDED AS SHOWN. PUBLIC UTILITY EASEMENTS FOR WATER OR UNDERGROUND ELECTRICAL LINES SHALL BE CONVEYED BY SEPARATE INSTRUMENT OR PLAT.
6. ALL DRAINAGE STRUCTURES WITHIN THE SITE SHALL BE PRIVATELY OWNED AND MAINTAINED.
7. TOPOGRAPHY SHOW IS FROM SURVEY DATA AND FROM AERIAL TOPOGRAPHY PROVIDED BY THE CITY OF BRYAN.

**PARKING:**

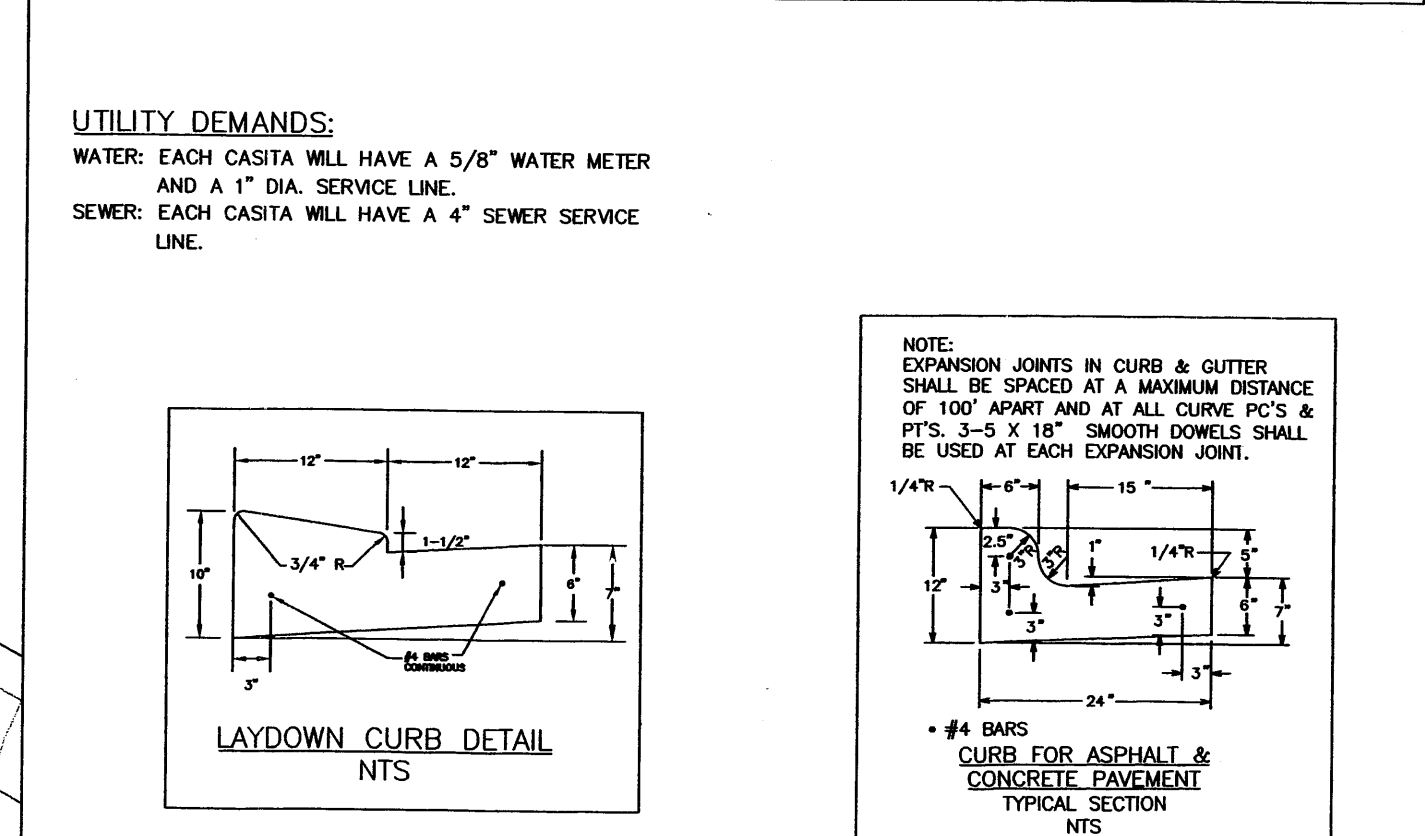
EACH CASITA WILL HAVE TWO BEDROOMS AND A MINIMUM OF TWO PARKING SPACES WILL BE PROVIDED IN EACH DRIVEWAY.

**LEGEND**

FH	FIRE HYDRANT
WV	WATER VALVE
SLC	SEWER LINE CLEANOUT
MH	MANHOLE
WB	WATERLINE BLOWOFF
WM	WATER METER
WS	WHEEL STOP
HR	HANDICAP RAMP
EC	EXISTING CONTOUR - MAJOR
EC	EXISTING CONTOUR - MINOR
ES	UNDERGROUND ELECTRICAL SERVICE
GL	EXISTING GAS LINE
BS	BUILDING SETBACK LINE
PE	PUBLIC UTILITY EASEMENT LINE
SSL	STORM SEWER LINE
1"	1" WATER LINE
8"	8" SEWER LINE
4"	4" SEWER LINE
VL	VEHICLE LAY OF HOSE LINE
PL	PROPERTY BOUNDARY LINE
RF	RUNOFF FLOW DIRECTION
AS	AREA STORM DRAIN INLET
HP	HANDICAP PARKING SIGN
CP	CART PATH

**LAYDOWN CURB DETAIL**  
NTS

**NOTE:**  
EXPANSION JOINTS IN CURB & GUTTER SHALL BE SPACED AT A MAXIMUM DISTANCE OF 100' APART AND AT ALL CURVE PC'S & PT'S. 3'-5' X 1/4" SMOOTH DOWELS SHALL BE USED AT EACH EXPANSION JOINT.



THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF REVIEW ONLY UNDER THE AUTHORITY OF JOSEPH P. SCHULTZ P.E., LICENSE NO. 65889, ON APRIL 26, 2006. IT IS NOT TO BE USED FOR BIDDING OR CONSTRUCTION PURPOSES.	
SCALE: AS SHOWN	AS SHOWN
DRAWN BY: CJS	CJS
DESIGNED BY: JPS	JPS
FILE: 06-ET88-C1DWG	06-ET88-C1DWG

REVISIONS	
NO.	DATE
A	04-26-06
DESCRIPTION	
ISSUED FOR REVIEW	

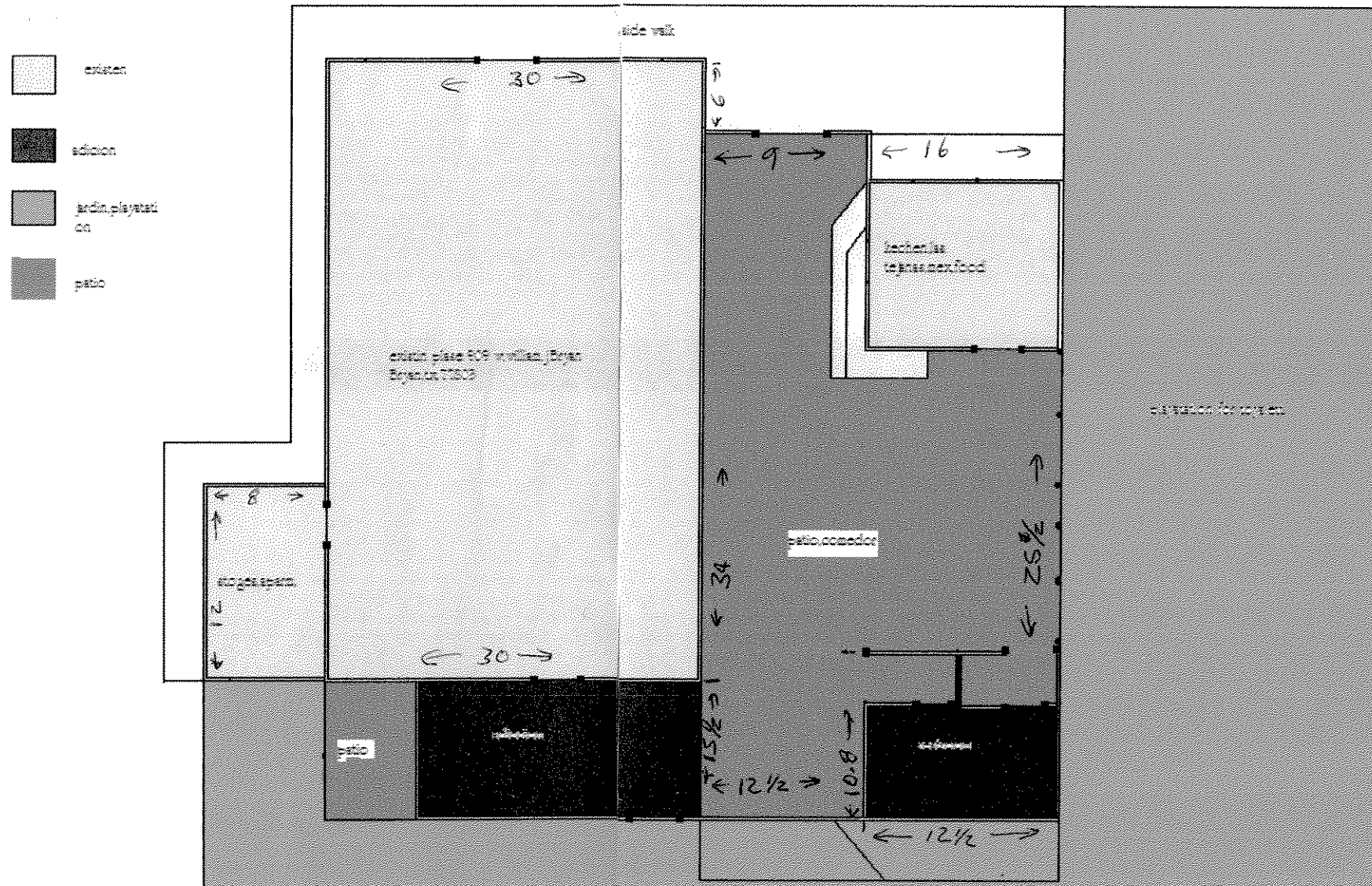
**Civil Development, Ltd.**  
CIVIL ENGINEERING & DESIGN-BUILD SERVICES  
2900 Longmire Drive, Suite K  
College Station, Texas 77845  
P.O. Box 11929, College Station, Texas 77842  
(979) 764-7743 Fax: (979) 764-7759  
Prepared for: Teton General Contractors

**SITE PLAN**  
THE CASITAS AT TRADITIONS  
CASITAS 2, 3 & 4  
LOT 1, BLOCK 1  
THE TRADITIONS SUBDIVISION - PHASE 16  
BRYAN, TEXAS

SHEET  
**C1**

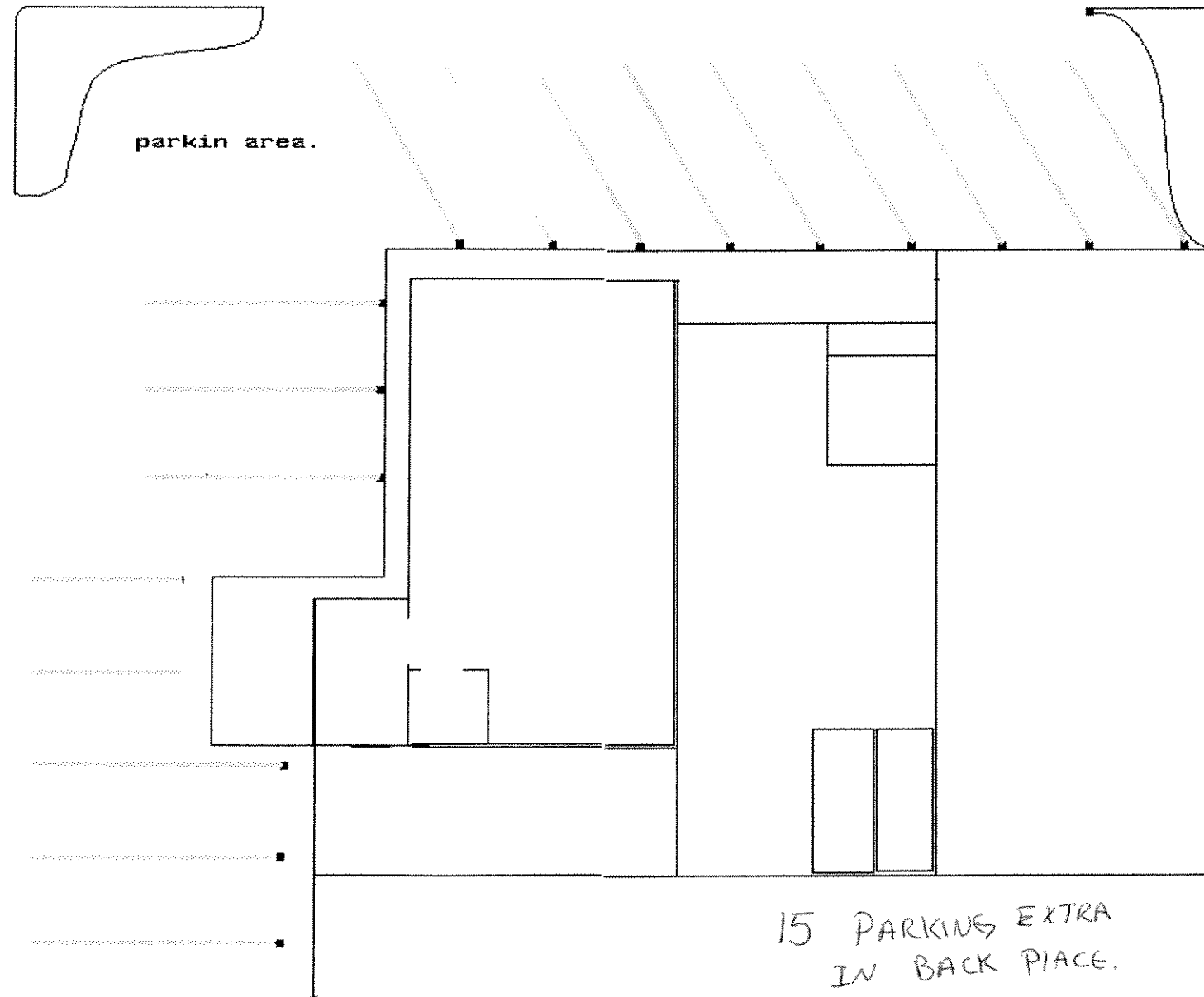
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 APR 24 2006   
 Development & Engineering   
 Services

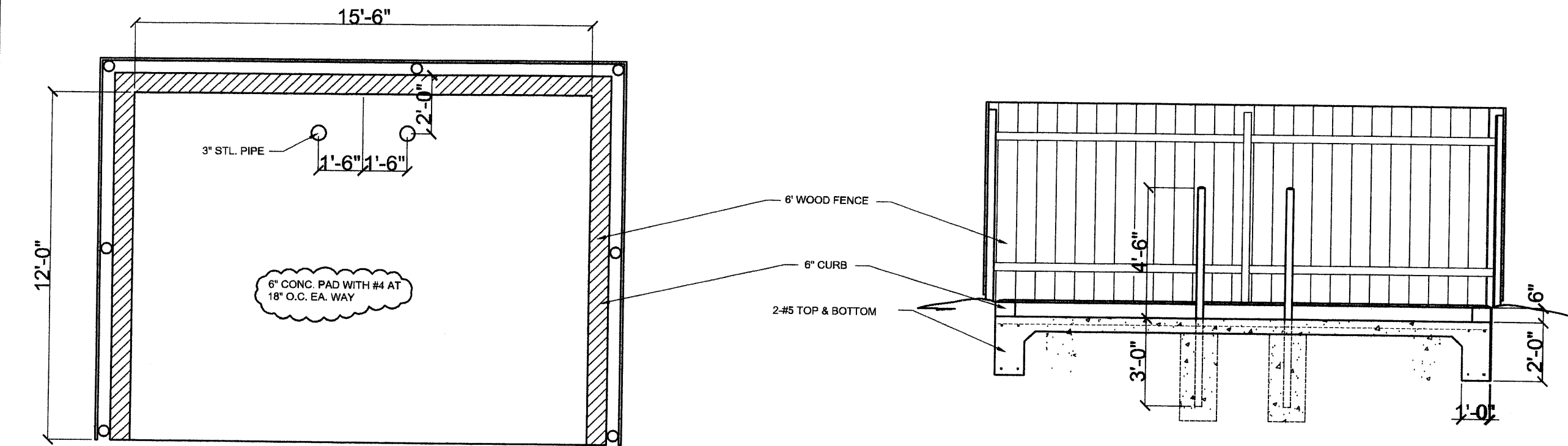
SP06-17



Received  
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Development & Engineering  
Services

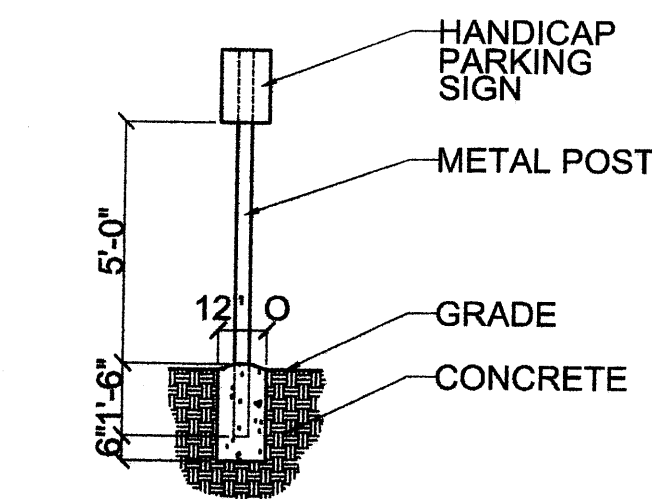
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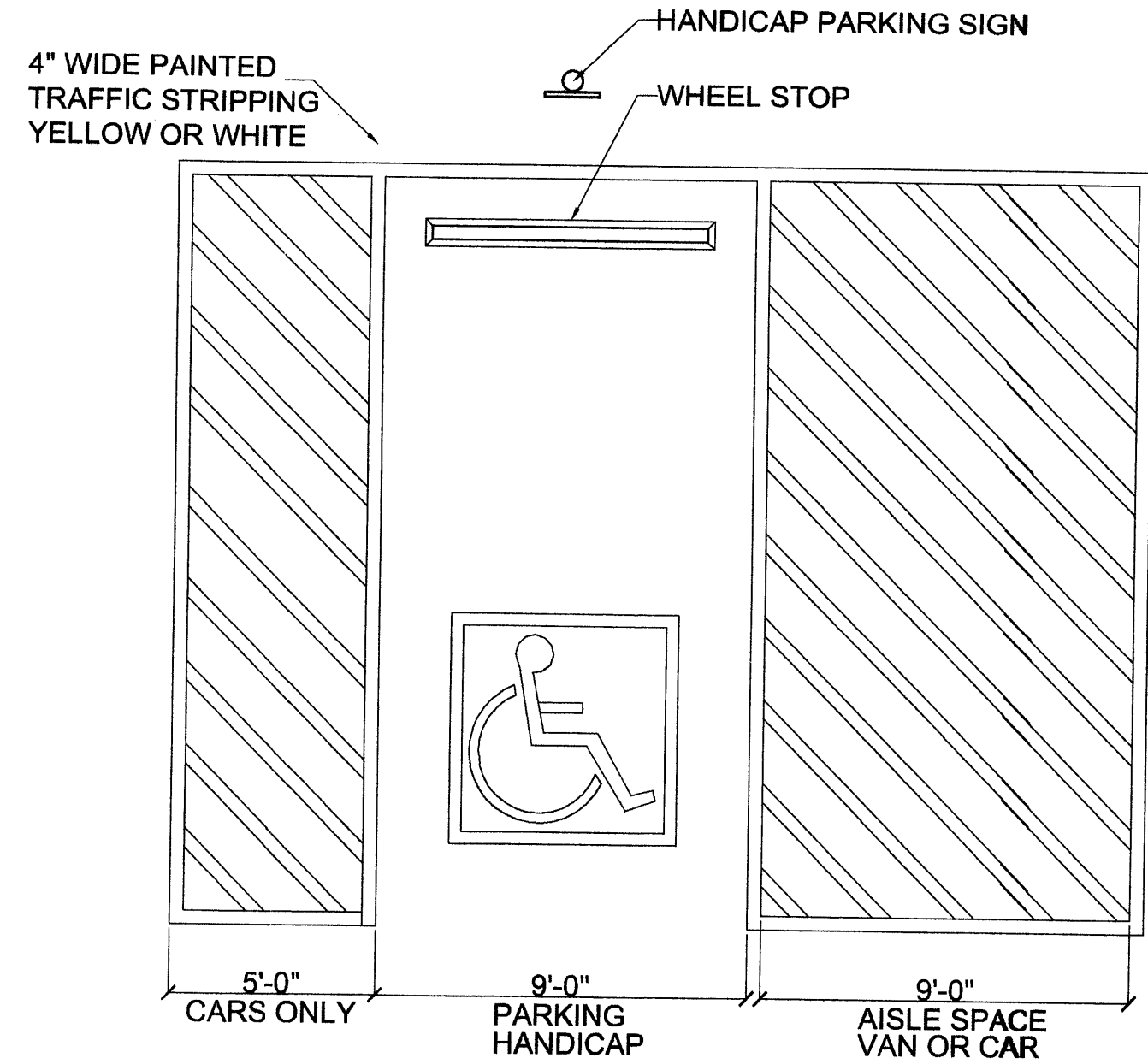
DUMPSTER ENCLOSER

SCALE: 1/4" - 1'-0" 06



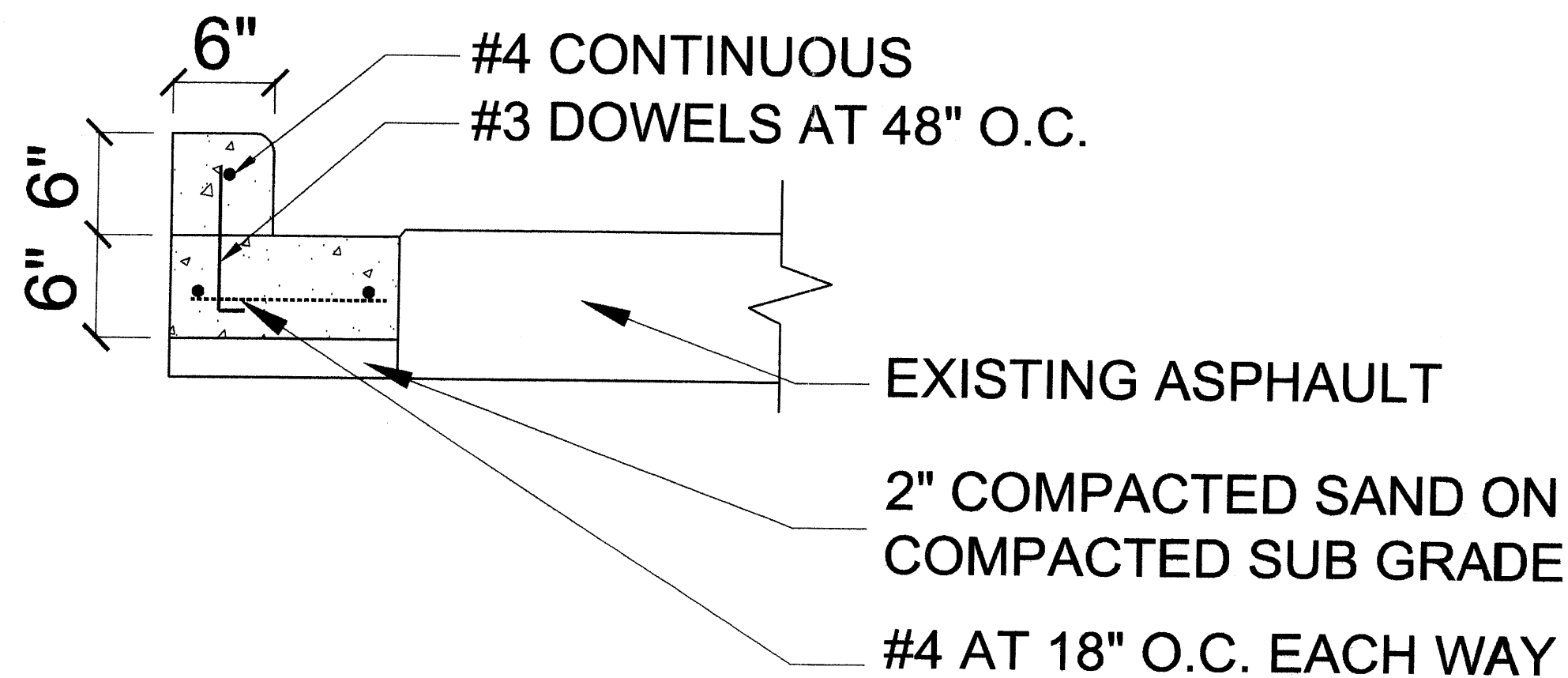
H.D.C.P. PARKING SPACE

SCALE: 1/4" - 1'-0" 05



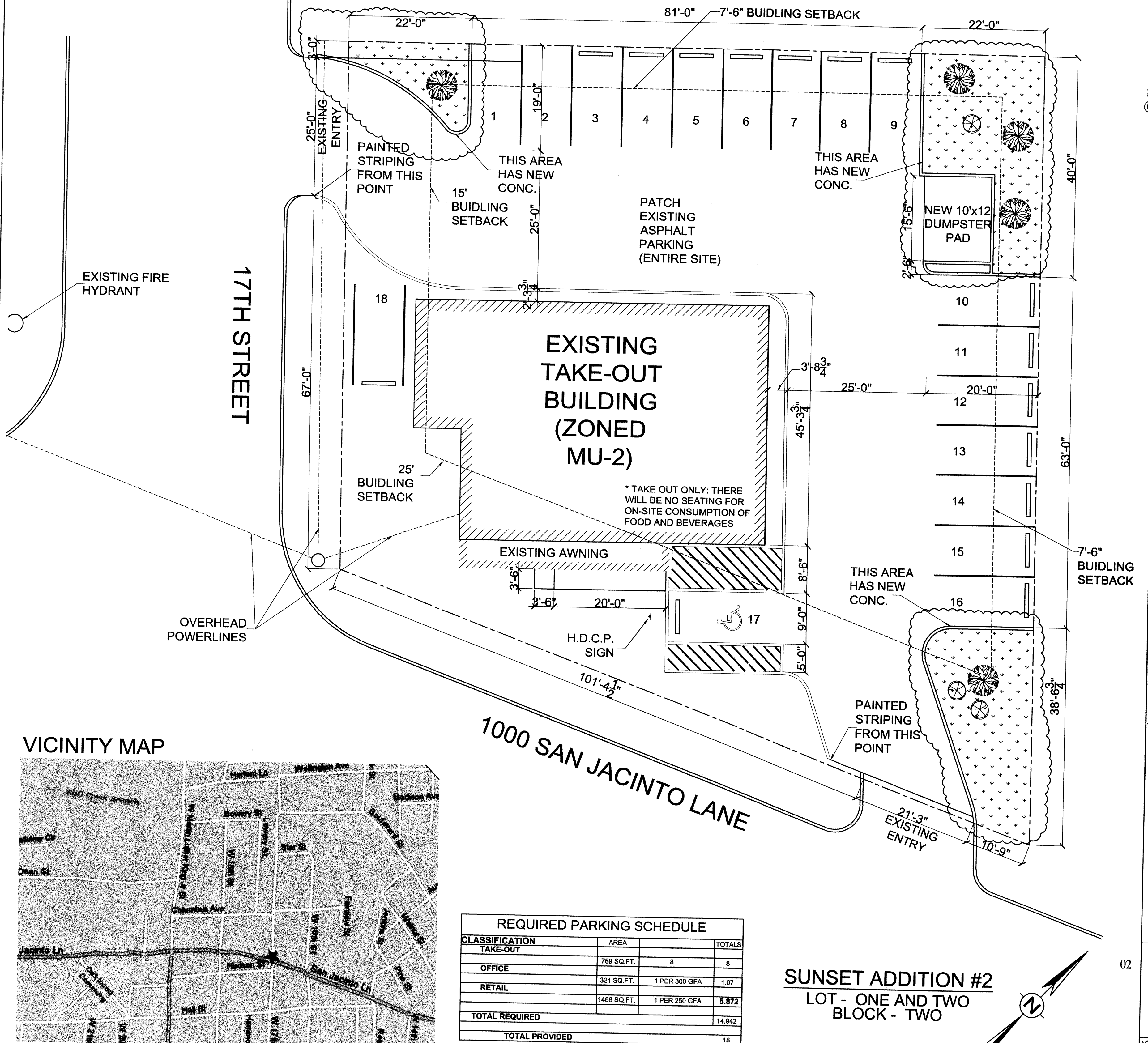
H.D.C.P. PARKING SPACE

SCALE: 1/4" - 1'-0" 04

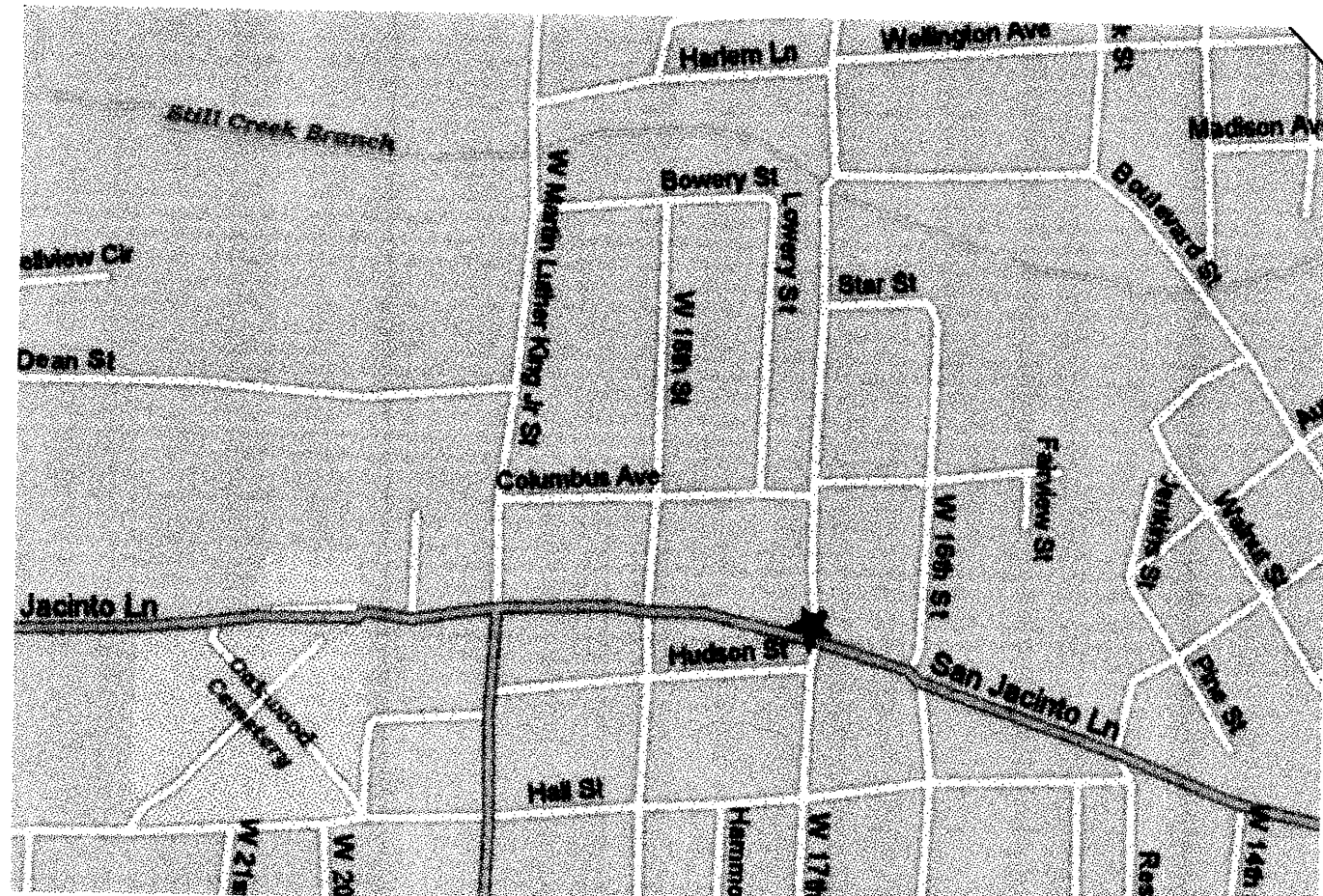


6" CURB DETAIL

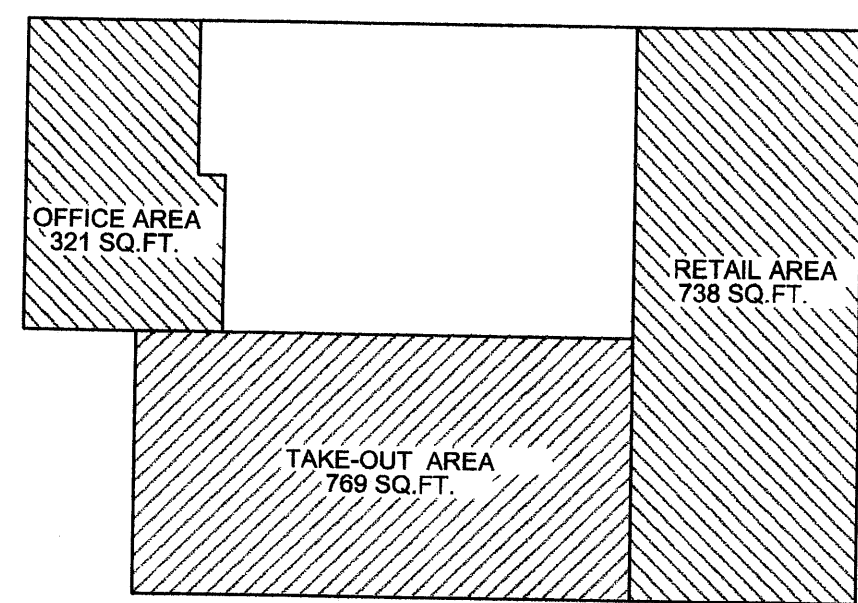
SCALE: 1" - 1'-0" 03



VICINITY MAP



SITE PLAN



BUILDING SQ. FT. BREAKDOWN

SCALE: N.T.S. 07

LANDSCAPING NOTES

DEVELOPED AREA: 14,786 SQ. FT.  
REQUIRED: 8% = 1,182.88  
TREES:  
1,183 POINTS REQUIRED  
CANOPY TREES: 4 x 200 = 800  
NON-CANOPY TREES: 3 x 150 = 450  
TOTAL POINTS FROM TREES: 1250  
GRASS:  
4,532 SQ. FT. = 453  
TOTAL POINTS: 1,703

SYMBOL	COMMON NAME (SCIENTIFIC NAME)	DESCRIPTION	QTY.	VALUE	POINTS
(Symbol)	LIVE OAK (QUERCUS VIRGINICA)	CANOPY TREES > 1.5 CAL.	4	200	800
(Symbol)	MOUNTAIN LAUREL (SOPHORA SECUNDFLORA)	NON-CANOPY TREES > 1.5 CAL.	3	150	450
(Symbol)	SOD GRASS			453	
	TOTAL POINTS				1703

SCALE: N.T.S. 01

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(979)-846-3366  
4500 Carter Creek Dr. #203  
Bryan, TX 77802  
www.raidesigns.com

RAI  
DRAFT  
DESIGN  
CONSULT

JOB#05-158

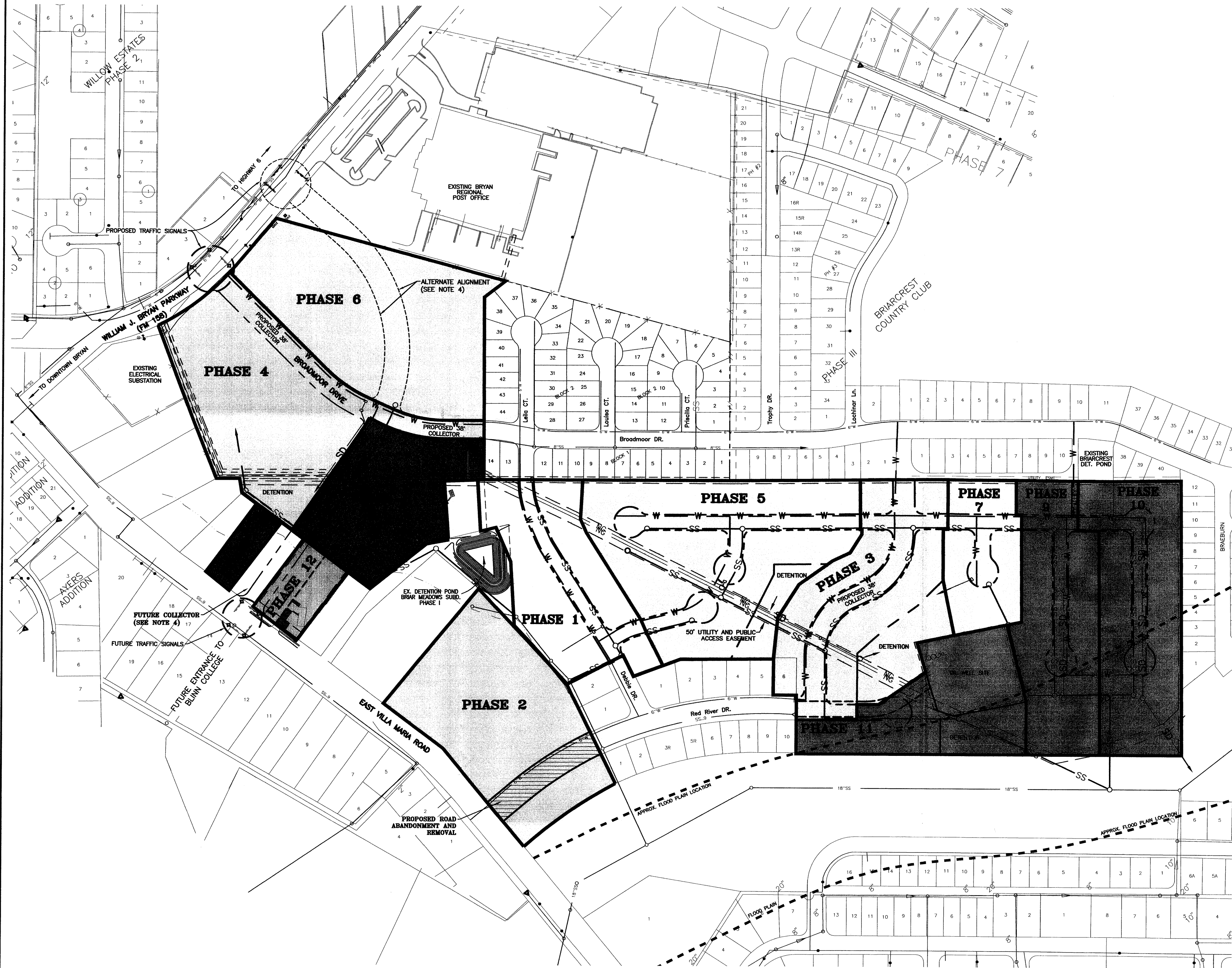
1000 San Jacinto  
Bryan, Texas

LOI PHAT NGUYEN  
P.O. BOX 5085  
Bryan, TX 77805

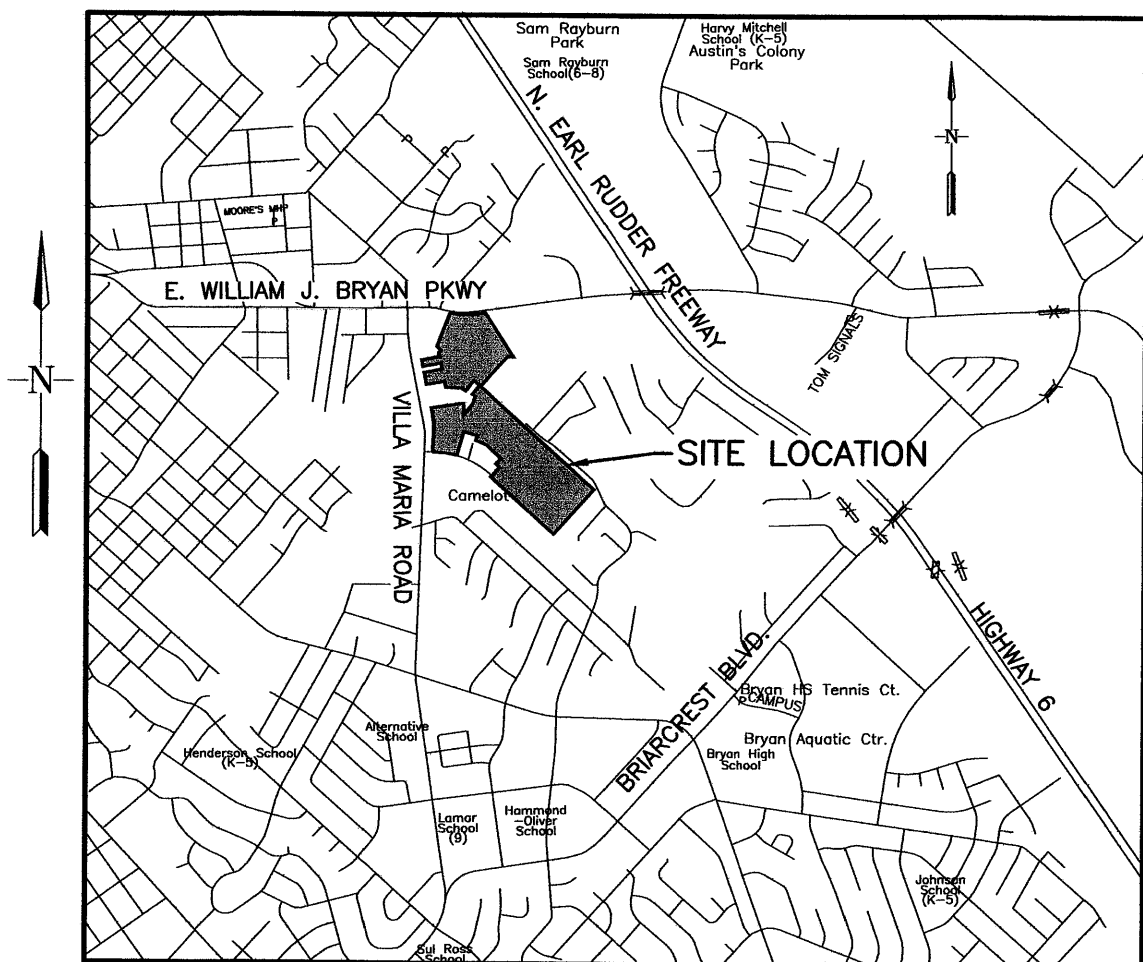
JTR-DRAWN  
LET - CITY CHANGES  
SHEET: S-1  
OF: ONE  
DATE: 04-19-06

SP06-08 #3





0 200 400 600  
SCALE: 1"= 200'



VICINITY MAP  
NOT TO SCALE

GENERAL NOTES:

1. NO PUBLIC FACILITIES (i.e. PARKS, MUNICIPAL BUILDINGS) ARE PROPOSED AS PART OF THIS DEVELOPMENT.
2. PUBLIC INFRASTRUCTURE (i.e. FIRE HYDRANTS, STORM DRAINS) WILL BE DESIGNED, CONSTRUCTED AND DEDICATED IN ACCORDANCE WITH CITY OF BRYAN CODES, GUIDELINES AND SPECIFICATIONS.
3. THE ALTERNATE COLLECTOR ALIGNMENT SHOWING AN INTERSECTION WITH WILLIAM J. BRYAN PARKWAY ON THE POST OFFICE FRONTAGE MAY BE PURSUED UPON THE SUCCESSFUL NEGOTIATION OF A DEVELOPMENT AGREEMENT WITH THE CITY OF BRYAN, TxDOT AND THE U.S. POSTAL SERVICE.
4. THE WESTERN PORTION OF THE COLLECTOR BETWEEN BROADMOOR AND VILLA MARIA, BEYOND THE PROPERTY, IS NOT INCLUDED IN THIS DEVELOPMENT PLAN, BECAUSE THE LOCATION IS FIXED ONTO PROPERTY NOT CONTROLLED BY THE DEVELOPER. IF THE DEVELOPER GAINS CONTROL OF THE PROPERTY, THIS MASTER PLAN WILL BE UPDATED. THIS ROADWAY PORTION MAY BE ADDED TO THE PROJECT THROUGH THE SUCCESSFUL NEGOTIATION OF A DEVELOPMENT AGREEMENT WITH THE CITY OF BRYAN ADDRESSING R.O.W. ACQUISITION AND OFF-SITE DEVELOPMENT COSTS.

LEGEND:

- SS PROP. SANITARY SEWER
- SS EXIST. SANITARY SEWER
- W PROP. WATER LINE
- W EXIST. WATER LINE
- SD PROP. STORM DRAIN

PHASE	LAND USE	ACREAGE	MAX. DENSITY	MAX. DWELLING UNITS
1	SINGLE FAMILY/PATIO HOME	4.88 ACRES	7 D.U./AC.	34 UNITS
2	MULTI-FAMILY	6.87 ACRES		
3	SINGLE FAMILY/PATIO HOME/TOWNHOME	6.90 ACRES	10 D.U./AC.	69 UNITS
4	COMMERCIAL/RETAIL/OFFICE	7.40 ACRES	7 D.U./AC.	51 UNITS
5	SINGLE FAMILY/PATIO HOME	8.85 ACRES	7 D.U./AC.	62 UNITS
6	COMMERCIAL/RETAIL/OFFICE	7.80 ACRES		
7	SINGLE FAMILY/PATIO HOME	2.62 ACRES	7 D.U./AC.	18 UNITS
8	COMMERCIAL/RETAIL/OFFICE	4.27 ACRES		
9	SINGLE FAMILY/PATIO HOME	4.90 ACRES	7 D.U./AC.	34 UNITS
10	SINGLE FAMILY/PATIO HOME	5.60 ACRES	7 D.U./AC.	39 UNITS
11	SINGLE FAMILY/PATIO HOME	4.29 ACRES	7 D.U./AC.	30 UNITS
12	COMMERCIAL/RETAIL/OFFICE	1.12 ACRES		
13	COMMERCIAL/RETAIL/OFFICE	0.62 ACRES		
TOTAL		66.12 ACRES		337 UNITS

Bleyl & Associates

Project Engineering & Management

2251 N. LOOP 336 W  
BRYAN, TEXAS 77802  
(979) 260-1763 PHONE  
(979) 260-3849 FAX

MASTER PLAN

BRIAR MEADOWS CREEK

38.08 ACRES OF LAND  
IN THE JOHN AUSTIN SURVEY, A-2  
BRYAN, TEXAS

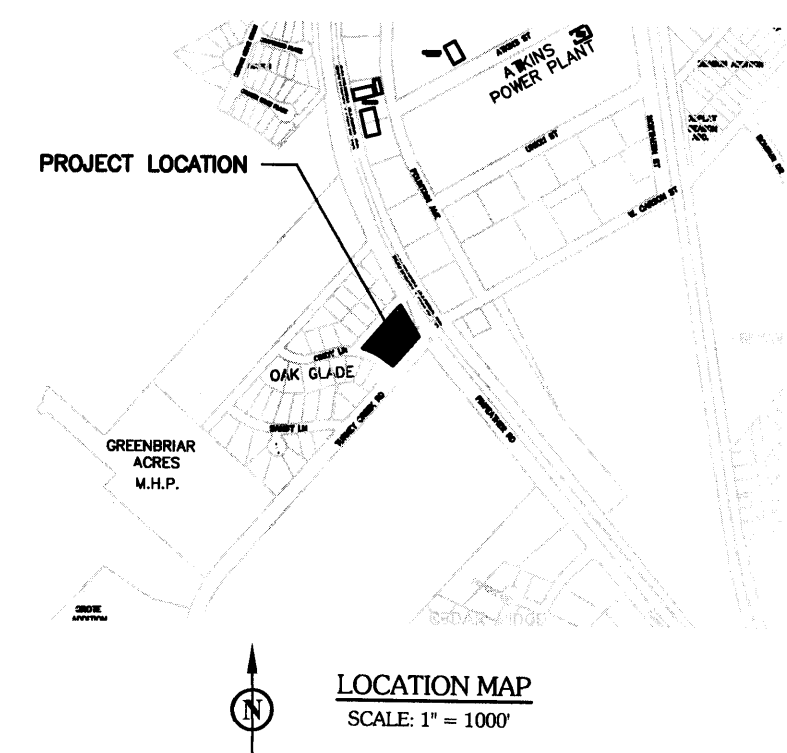
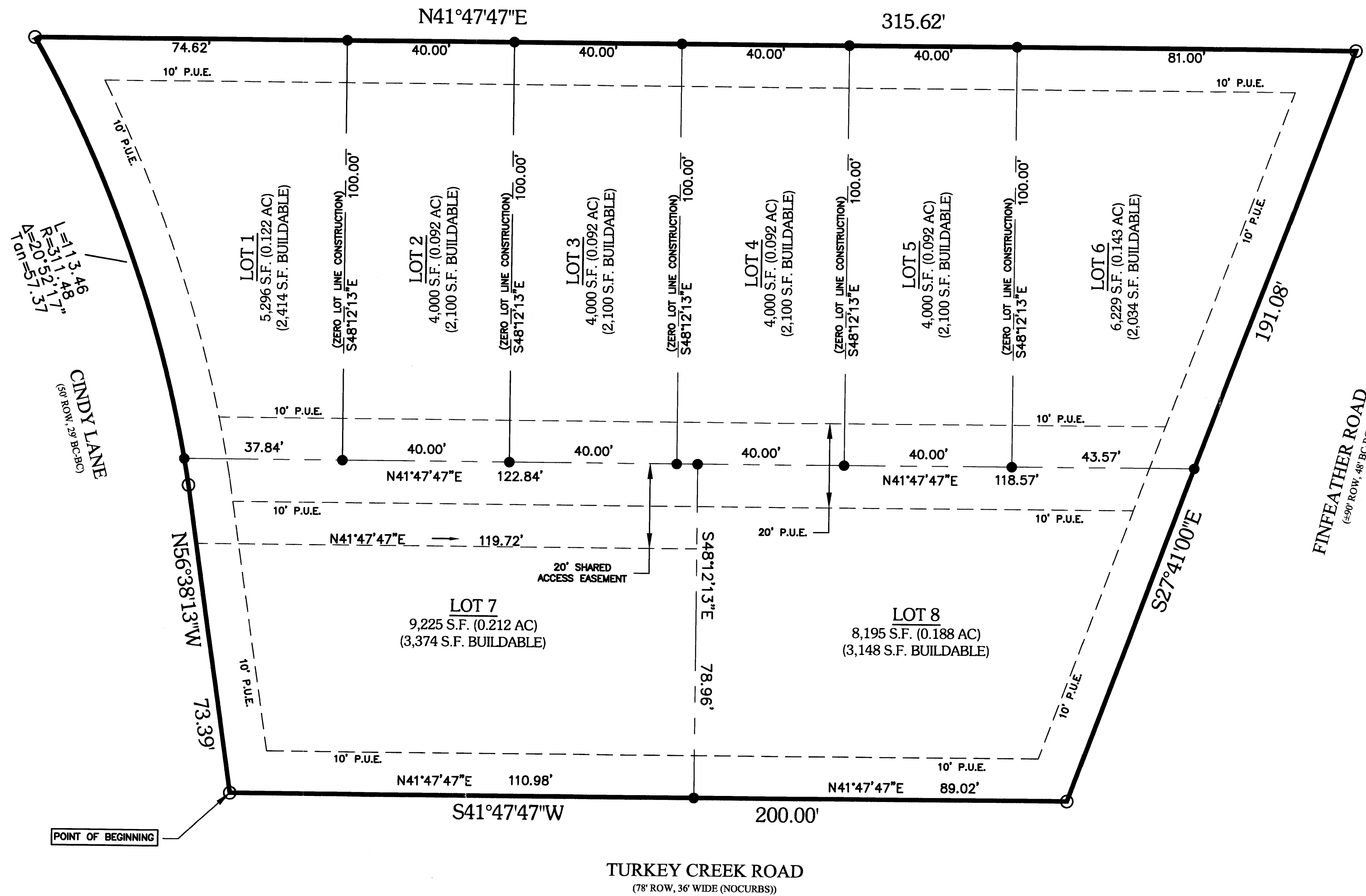
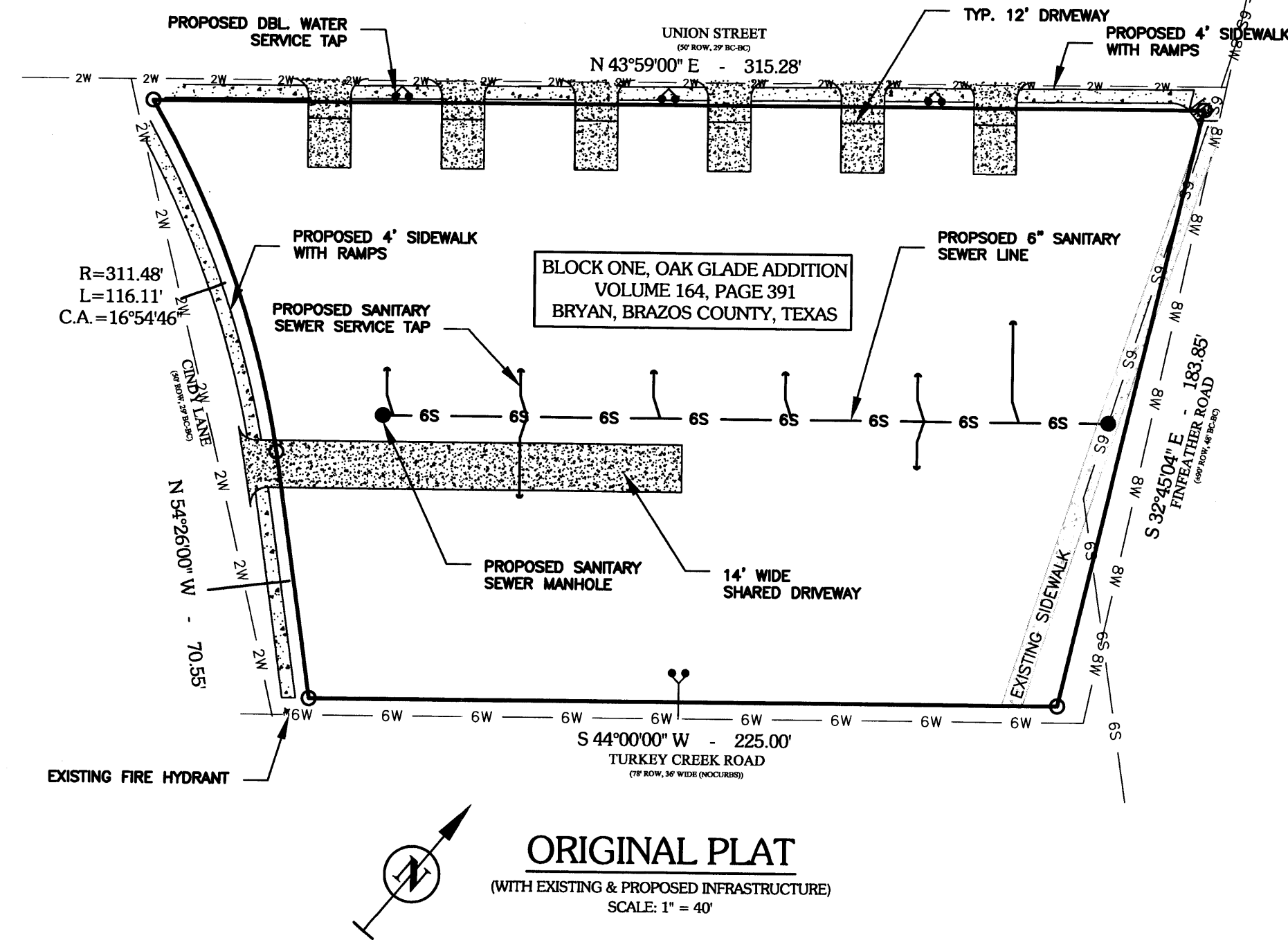
DRAFT  
FOR  
REVIEW ONLY

PROJECT NUMBER  
7031

FILE NAME: 7031-MP03

SHEET: 1 OF 1





- GENERAL NOTES:**
1. THE LAND IS CURRENTLY ZONED SF-5. A CONDITIONAL USE PERMIT SHALL BE INSTITUTED TO ALLOW FOR THE 6 PATIO HOME LOTS (ZERO LOT LINE CONSTRUCTION) IN ADDITION TO THE 2 SF-5 LOTS.
  2. THE PROJECT PROPERTY DOES NOT LIE WITHIN THE LIMITS OF THE 100-YEAR FLOOD HAZARD AREA AS ESTABLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY: MAP NUMBER 480083-134C, EFFECTIVE DATE JULY 2, 1982.
  3. LOT SUBDIVISION & BUILDING SET BACK LINES SHALL CONFORM TO THE STANDARDS SET FORTH IN CITY OF BRYAN ZONING ORDINANCE AND SITE DEVELOPMENT REVIEW ORDINANCE.
  4. UNLESS NOTED OTHERWISE, ALL LOT CORNERS SHALL BE MARKED WITH 1/2" IRON RODS WITH CAPS.
  5. ALL RIGHT-OF-WAYS AND EASEMENTS SHOWN HEREIN ARE HEREBY DEDICATED TO THE CITY OF BRYAN.
  6. THE METES AND BOUNDS DESCRIPTION OF PROJECT PROPERTY FOUND HEREIN ARE FROM EXISTING DEEDS AND ARE SUBJECT TO CHANGE PER A COMPLETE BOUNDARY SURVEY.

#### LEGEND

—	PROPERTY LINES
---	LOT LINES
---	R.O.W. LINES
---	EASEMENT LINE
---	BUILDING SET BACK LINE
6S	EXISTING 6" SEWER LINE
2W	EXISTING 2" WATER
6W	EXISTING 6" WATER
6S	PROPOSED 6" SEWER
●	PROPOSED 4" SEWER MANHOLE
P.U.E.	PUBLIC UTILITY EASEMENT
○	PROPOSED DBL. WATER SERVICE TAP
○	PROPOSED 4" SANITARY SEWER TAP

#### CERTIFICATION OF OWNERSHIP & DEDICATION:

I, (We), \_\_\_\_\_, the owner(s) and developer(s) of the land shown on this plat, being (part of) the tract of land as conveyed to me (us, it) in the Deed Records of Brazos County in Volume \_\_\_\_\_, Page \_\_\_\_\_, and whose name is subscribed hereto, hereby, dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places shown hereon for the purposes identified.

Owner

#### CERTIFICATION BY THE COUNTY CLERK:

I, \_\_\_\_\_, County Clerk in and for said County, do hereby certify that this plat together with its certificates of authentication was filed for record in my office the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, in the Official Records of Brazos County in Volume \_\_\_\_\_, Page \_\_\_\_\_.

County Clerk, Brazos County, Texas

#### NOTARY PUBLIC CERTIFICATION

Before me, the undersigned authority, on this day personally appeared \_\_\_\_\_, known to me to be the person(s) whose name(s) is/are subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose stated.

Given under my hand and seal of office this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Notary Public, Brazos County, Texas

#### APPROVAL OF THE PLANNING & ZONING COMMISSION:

I, \_\_\_\_\_, Chairman of the Planning & Zoning Commission of the City of Bryan, State of Texas, hereby certify that the attached plat was duly filed for approval with the planning & Zoning Commission of the City of Bryan on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ and same was duly approved on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ by said Commission.

Chairman, Planning & Zoning Commission  
Bryan, Texas

#### CERTIFICATION OF THE SURVEYOR

I, \_\_\_\_\_, Registered Public Surveyor No. \_\_\_\_\_ in the State of Texas, hereby certify that this plat is true and correct and was prepared from an actual survey of the property and that property markers and monuments were placed under my supervision on the ground, and that the metes and bounds describing said subdivision will describe a closed geometric form.

Registered Public Land Surveyor

#### FIELD NOTE DESCRIPTION OF A 1.0827 ACRE TRACT:

**FIELD NOTE DESCRIPTION** OF A 1.0827 ACRE TRACT OF LAND LYING AND BEING SITUATED IN THE **ZENO PHILLIPS LEAGUE, ABSTRACT NO. 45**, IN THE CITY OF BRYAN, BRAZOS COUNTY, TEXAS, AND BEING PART OF **BLOCK ONE (1) OAK GLADE ADDITION**, AS SHOWN ON THE PLAT THEREOF RECORDED IN VOLUME 164, PAGE 391, OF THE DEED RECORDS OF BRAZOS COUNTY, TEXAS, AND AS MORE PARTICULARLY DESCRIBED BY THE FOLLOWING METES AND BOUNDS.

**POINT OF BEGINNING** AT THE NORTHEAST INTERSECTION OF THE NORTH RIGHT OF WAY LINE OF CINDY LANE WITH THE NORTHWEST RIGHT OF WAY LINE OF TURKEY CREEK ROAD;

**THENCE** ALONG THE SOUTHWEST LINE OF THE SAID **BLOCK ONE (1) OAK GLADE ADDITION**, SAME BEING THE NORTHEAST RIGHT OF WAY LINE OF CINDY LANE FOR THE FOLLOWING CALLS:

**THENCE** N 56°38'13"W FOR A DISTANCE OF 73.39' TO A 1/2-INCH IRON ROD SET FOR ANGLE POINT, SAID IRON ROD MARKING THE BEGINNING POINT OF A CURVE;

**THENCE** ALONG SAID CURVE HAVING THE FOLLOWING DATA: A RADIUS OF 311.48 FEET, A CENTRAL ANGLE OF 20°52'17", ARC LENGTH OF 113.46 FEET, A CHORD DISTANCE OF 106.55 FEET, AND A CHORD BEARING OF N68°23'51"W, TO A 1/2-INCH IRON ROD SET FOR CORNER, SAID IRON ROD MARKING THE END OF THIS CURVE;

**THENCE** N41°47'47"E, ALONG THE SOUTHEAST RIGHT OF WAY LINE OF UNION STREET, SAME BEING THE NORTHWEST LINE OF THE SAID **BLOCK ONE (1) OAK GLADE ADDITION**, FOR A DISTANCE OF 315.62 FEET TO A 1/2-INCH IRON ROD SET FOR CORNER;

**THENCE** S27°41'00"E ALONG THE SOUTHWEST RIGHT OF WAY LINE OF FINFEATHER ROAD FOR A DISTANCE OF 191.08 FEET TO AN IRON ROD SET FOR CORNER;

**THENCE** S41°47'47"W ALONG THE SOUTHEAST LINE OF THE SAID **BLOCK ONE (1) OAK GLADE ADDITION**, SAME BEING THE NORTHWEST RIGHT OF WAY LINE OF TURKEY CREEK ROAD, FOR A DISTANCE OF 200.00 FEET TO THE POINT OF BEGINNING CONTAINING 1.0827 ACRES OF LAND, MORE OR LESS.

## RE-PLAT OAK GLADE ADDITION, BLOCK 1

1 BLOCK CONSISTING OF  
8 LOTS ON 1.0827 ACRES

BLOCK 1 OF OAK GLADE ADDITION (V164/P391)  
ZENO PHILLIPS LEAGUE - ABSTRACT NO. 45  
1.0827 ACRES - ZONED SF-5  
BRYAN, BRAZOS COUNTY, TEXAS  
APRIL 25, 2006

**DEVELOPER**  
INTEGRITY DEVELOPERS  
100 S. TEXAS AVE.  
Bryan, Texas 77803  
(979) 220-5959

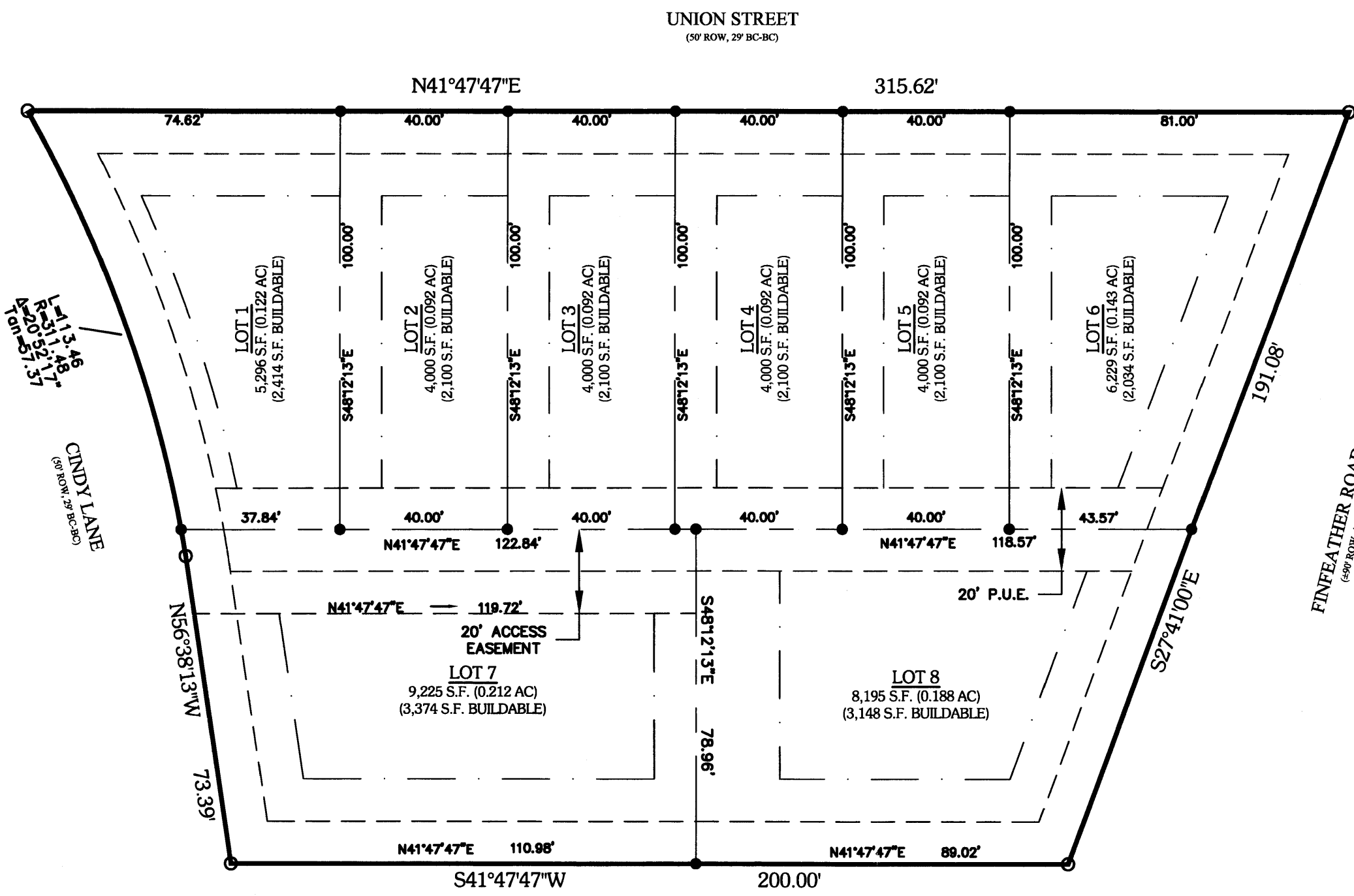
**SURVEYOR**  
KERR SURVEYING, LLC  
505 CHURCH AVE.  
COLLEGE STATION, TEXAS 77840  
(979) 268-0150

**GATTIS ENGINEERING**  
ENGINEERS & CONSULTANTS  
P.O. Box 13461 • College Station, Texas 77841 • (979) 575-5022  
INFO@GATTISENGINEERING.COM

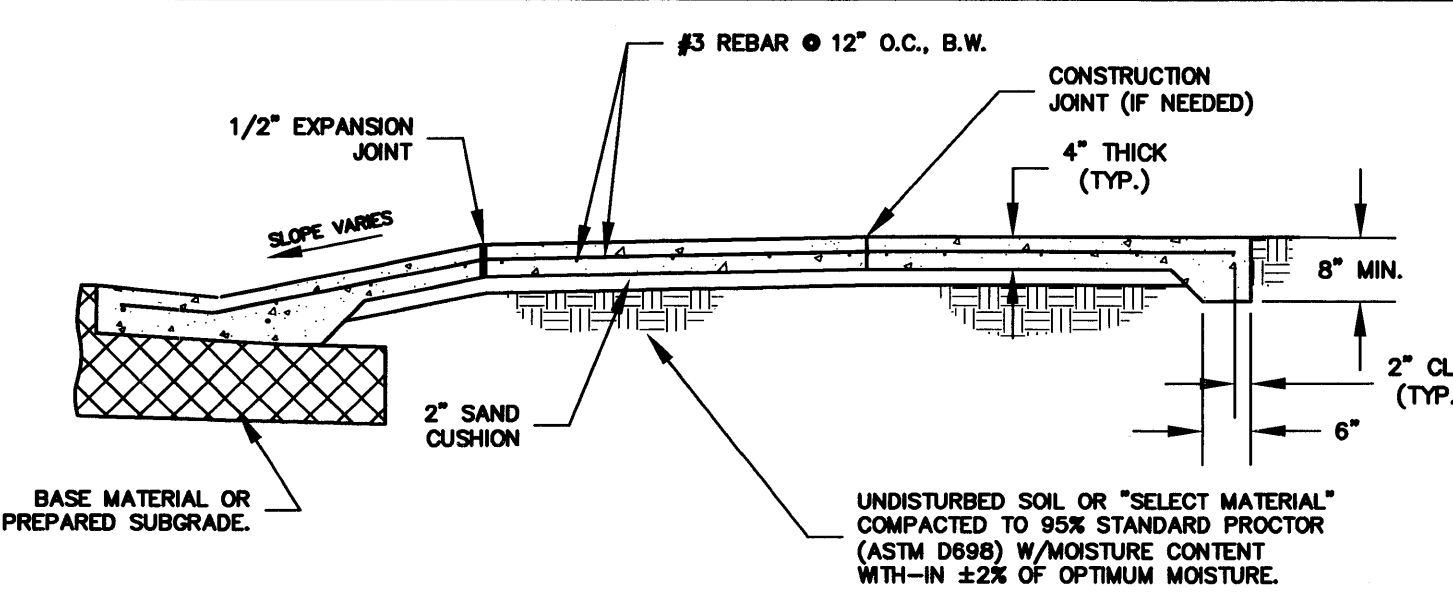
PLAT NO. 1  
6800107235-01

RP06-08 #2

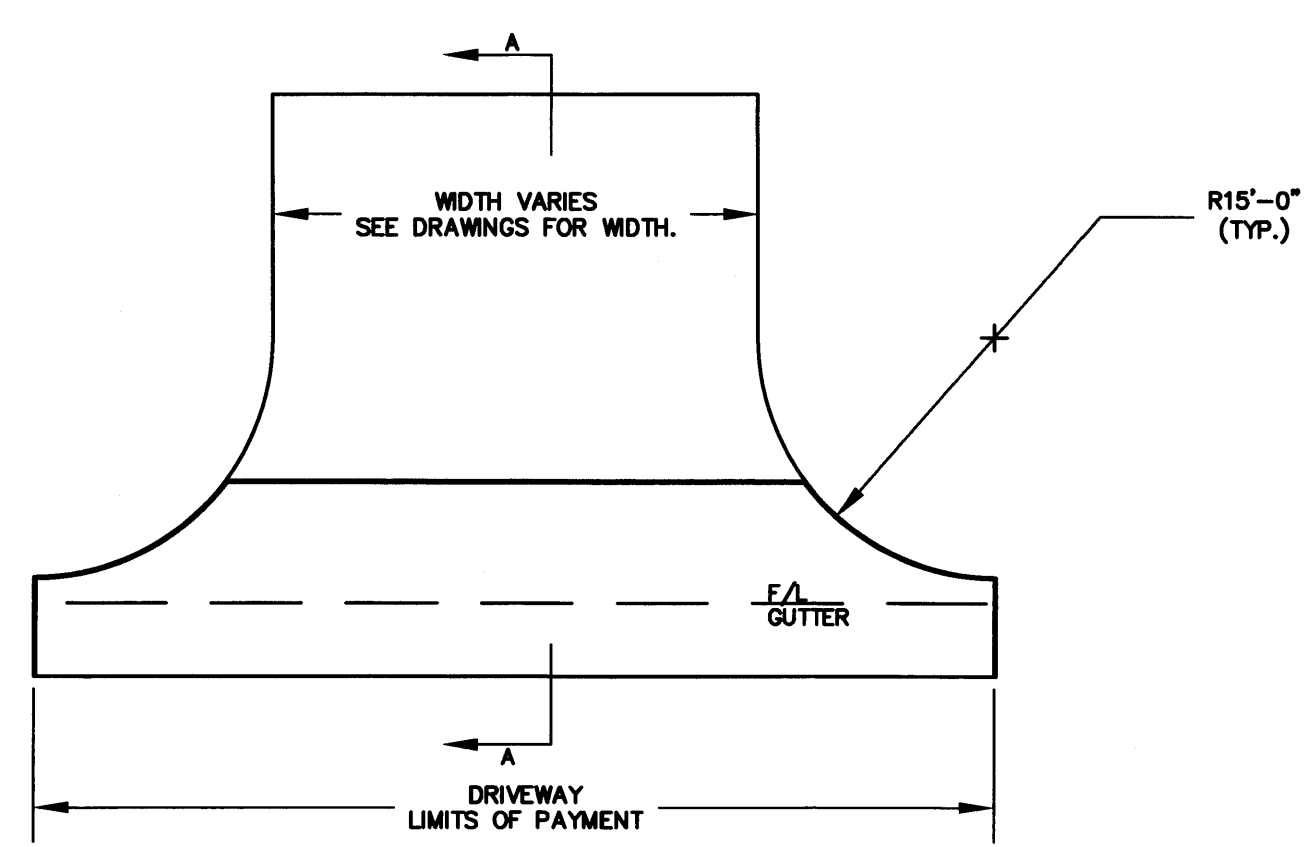




LOT LAYOUT  
SCALE: 1" = 30'



SECTION A-A  
N.T.S.

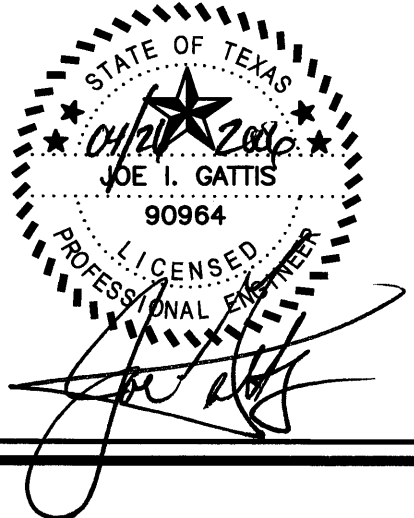
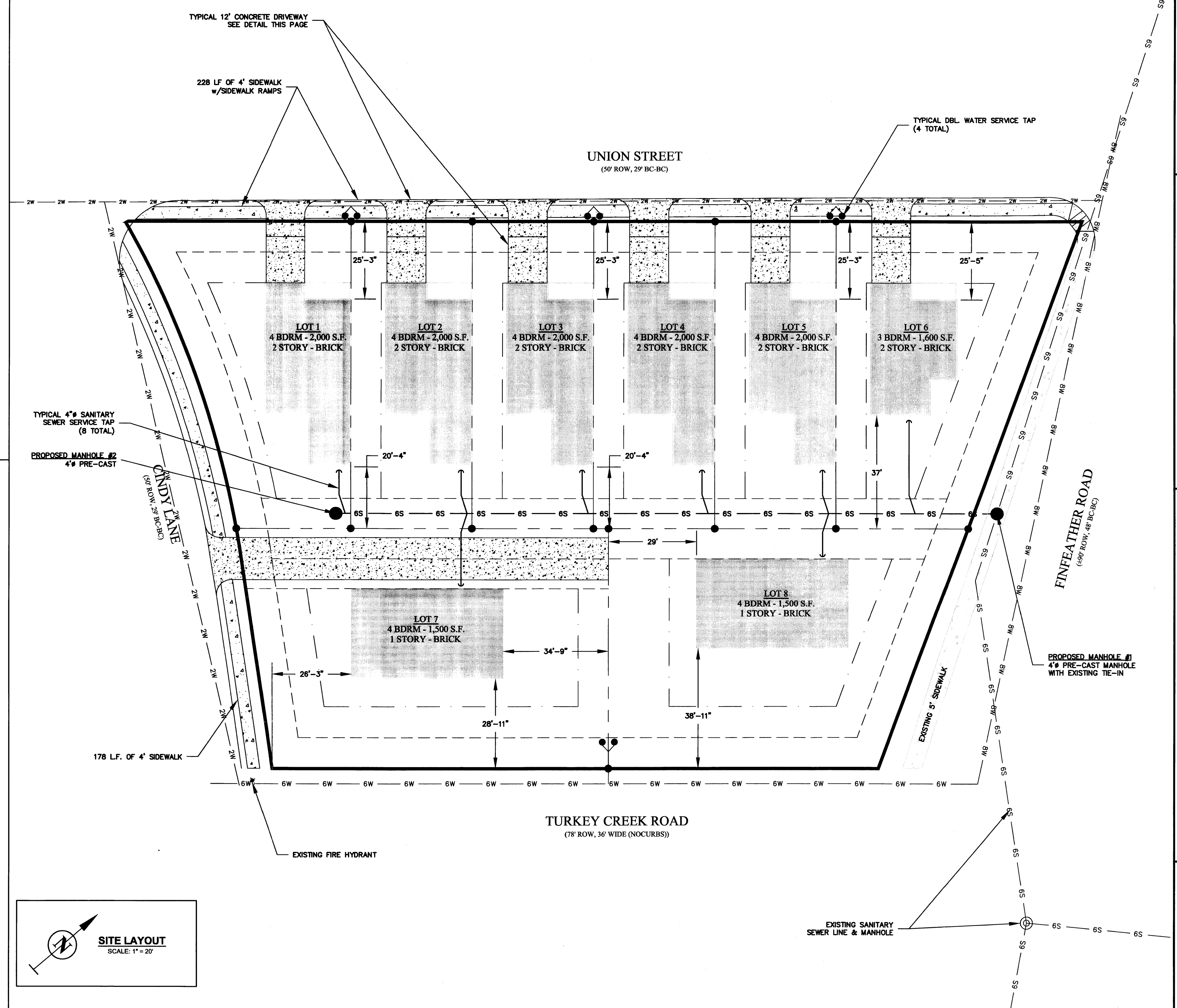


TYPICAL DRIVEWAY DETAIL  
N.T.S.

- GENERAL NOTES:**
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING UTILITIES. AT LEAST 48-HOURS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE CITY OF BRYAN, TEXAS, AT 1-800-344-8377.
  - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF BRYAN STANDARD SPECIFICATIONS AND THE CONSTRUCTION STANDARDS FOR WATER, SEWER, DRAINAGE AND STREET CONSTRUCTION. TESTING SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY'S STANDARDS. ALL CONSTRUCTION SHALL BE COORDINATED WITH THE CITY ENGINEER'S OFFICE.
  - THE CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION SAFETY. CONSTRUCTION DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY.
  - LOCATION OF EXISTING BURIED UTILITIES, WHERE SHOWN, IS APPROXIMATED ONLY. OTHER UTILITIES MAY BE PRESENT THAT ARE NOT SHOWN ON THE CONSTRUCTION DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING ALL BURIED UTILITIES.
  - THE CONTRACTOR IS RESPONSIBLE FOR ALL STORM WATER POLLUTION PREVENTION ASSOCIATED WITH THIS PROJECT. THE CONTRACTOR SHALL USE ALL MEANS NECESSARY TO PREVENT THE TRANSPORTATION OF SEDIMENT FROM THE PROJECT SITE.
  - THE PROPOSED BUILDINGS AND ASSOCIATED DIMENSIONS SHOWN HEREIN WERE PROVIDED BY OWNER.
  - THE LAND IS CURRENTLY ZONED SF-5. A CONDITIONAL USE PERMIT SHALL BE INSTITUTED TO ALLOW FOR THE 6 PATIO HOMES.
  - THE PROJECT PROPERTY DOES NOT LIE WITHIN THE LIMITS OF THE 100-YEAR FLOOD HAZARD AREA AS ESTABLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY: MAP NUMBER 480063-134C, EFFECTIVE DATE JULY 2, 1982.
  - ALL STORM WATER RUN-OFF SHALL SHEET FLOW TO THE NORTH AND NORTHWEST PROPERTY BOUNDARIES AND DISCHARGE INTO THE EXISTING STREET RIGHT OF WAYS OF CINDY LANE AND UNION STREET. FROM THERE IT IS CONVEYED VIA CURB & GUTTER TO THE EXISTING STORM DRAINAGE SYSTEM ON CINDY LANE, SPECIFICALLY A 15" CURB INLET BOX.
  - ALL SIDEWALKS AND RAMPS SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH A.D.A. (AMERICANS WITH DISABILITIES ACT) AND T.A.S. (TEXAS ACCESSIBILITY STANDARDS) REQUIREMENTS AND STANDARDS.
  - PROJECT PRODUCTIONS/DEMANDS:  
WATER: 8 SINGLE FAMILY HOMES 2,000 GALLONS/DAY.  
SEWER: 8 SINGLE FAMILY HOMES 1,800 GALLONS/DAY.
  - PARKING ANALYSIS & REQUIREMENTS: ALL PARKING SHALL BE OFF STREET PARKING PROVIDED IN THE FRONT OF EACH LOT VIA DRIVEWAYS.
  - LOT SUBDIVISION & BUILDING SET BACK LINES SHALL CONFORM TO THE STANDARDS SET FORTH IN CITY OF BRYAN ZONING ORDINANCE AND SITE DEVELOPMENT REVIEW ORDINANCE.
  - UNLESS NOTED OTHERWISE, ALL LOT CORNERS SHALL BE MARKED WITH 2" IRON RODS WITH CAPS.
  - ALL RIGHT-OF-WAYS AND EASEMENTS SHOWN HEREIN ARE HEREBY DEDICATED TO THE CITY OF BRYAN.

- LEGEND**
- PROPERTY LINES
  - LOT LINES
  - R.O.W. LINES
  - EASEMENT LINE
  - BUILDING SET BACK LINE
  - EXISTING 6" SEWER LINE
  - EXISTING 2" WATER
  - EXISTING 6" WATER
  - PROPOSED 6" SEWER
  - PROPOSED 4" SEWER MANHOLE
  - PUBLIC UTILITY EASEMENT
  - PROPOSED DBL. WATER SERVICE TAP
  - PROPOSED 4" SANITARY SEWER TAP

SITE LAYOUT  
SCALE: 1" = 20'



DRAWN BY:	JOE G.
DATE:	April 2006
SCALE:	NOTED
PROJECT #:	GE001012-04-01

REVISIONS	
NO.	DESCRIPTION

**GATTISENGINEERING**  
ENGINEERS & CONSULTANTS  
P.O. Box 13461 • College Station, Texas 77841 • (979) 575-5022  
INFO@GATTISENGINEERING.COM

**OAK GLADE ADDITION,  
BLOCK 1**  
CITY OF BRYAN, BRAZOS COUNTY,  
TEXAS

**SITE PLAN, GENERAL  
NOTES, & LEGEND  
SHEET**

C-1

CU06-04 #2